

	Bamberg County					
	Current Projects					
	Nov-22					
	#	Project Short Name		Cost	County Contribution	Funding Requested
	1	Hospital Repurposing Project	(Total Cost):	\$7,800,000		
	1a	DSS wing		\$2,300,000		
	1b	Voter Registration/Election Comission		\$1,000,000		
	1c	Law Enforcement Center [Morgue, EMS,Coroner,EOC]		\$1,500,000		
		Remaining Project Total		\$4,800,000	\$3,800,000	\$3,000,000
	6	Courthouse Restoration		\$10,000,000	\$7,000,000	\$3,000,000
		PROJECTS TOTAL			\$17,800,000	
		COUNTY FUNDED			\$10,800,000	
		FUNDING REQUESTED				\$6,000,000

THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION

CONVERSION OF THE BAMBERG HOSPITAL TO :
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA



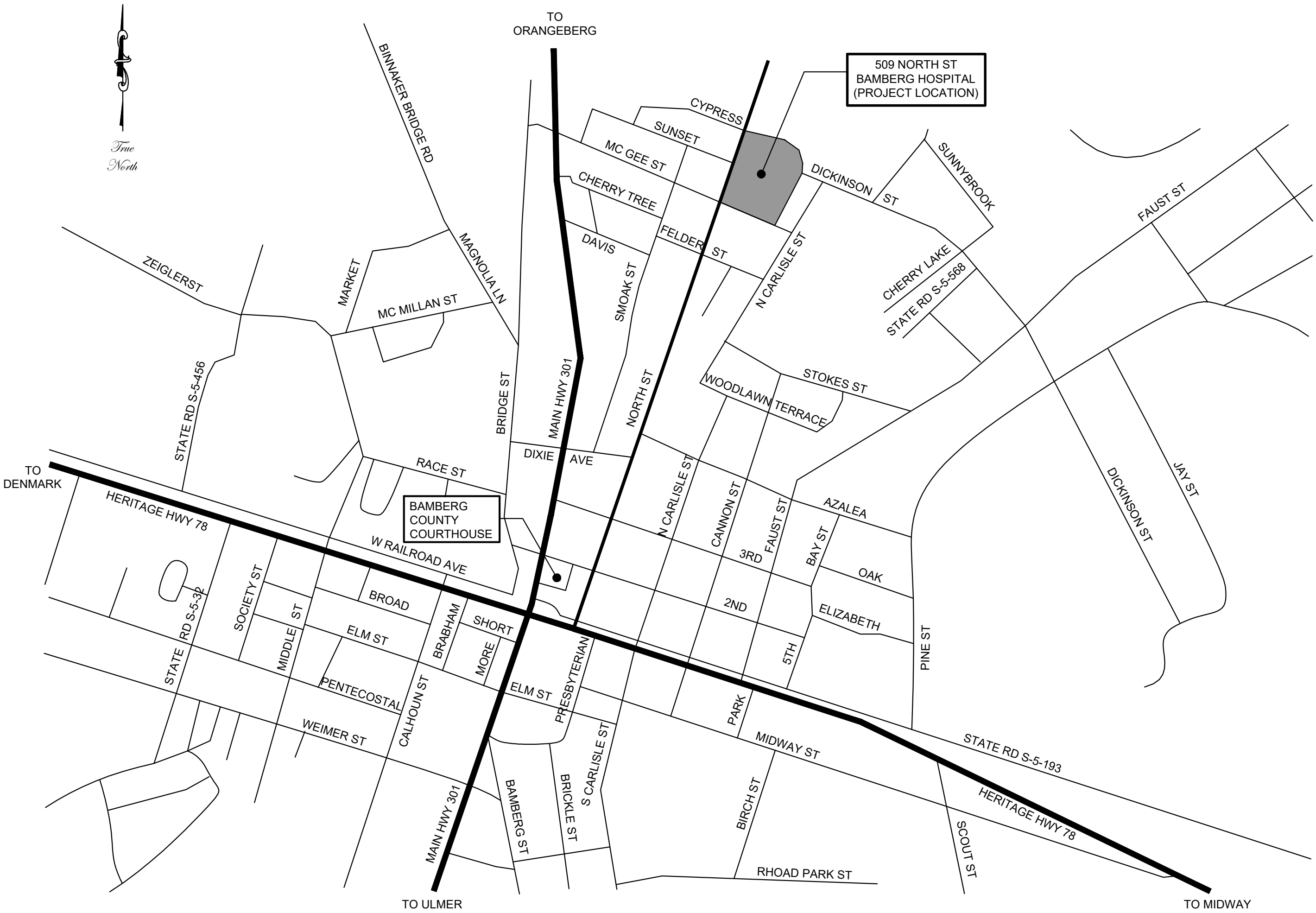
DRAWING INDEX

DRAWING INDEX	
CIVIL	
ALLIANCE CONSULTING ENGINEERS	
	NOT INCLUDED WITH THIS SET
ARCHITECTURAL	
PIKE ■ MCFARLAND ■ HALL	
CV1	COVER SHEET / DRAWING SHEET INDEX
CV2	CODE ANALYSIS
TS1	EXISTING TOPOGRAPHICAL SURVEY
AS1	ARCHITECTURAL SITE PLAN
D1.0	DEMOLITION - EXISTING FLOOR PLAN
A1.0	COMPOSITE FLOOR PLAN
A1.1	ENLARGED PLAN - SHERIFF
A1.2	ENLARGED PLAN - EOC / CORONER / V. REG
A1.3	ENLARGED PLAN - HEALTH DEPT. / VA
A1.4	EXTERIOR CANOPY PLANS
A2.0	ENLARGED PLAN - TOILETS
A2.1	TOILET ELEVATIONS
A3.0	COMPOSITE REFLECTED CEILING PLAN
A3.1	CEILING DETAILS
A4.0	INTERIOR MILLWORK & DETAILS
A4.1	INTERIOR MILLWORK & DETAILS
A5.0	DOOR SCHEDULE
A5.1	DOOR & WINDOW DETAILS
A5.2	ROOM FINISH SCHEDULE
A6.0	EXTERIOR BUILDING ELEVATIONS
A6.1	EXTERIOR BUILDING ELEVATIONS
A6.2	EXTERIOR BUILDING ELEVATIONS
A7.0	WALL SECTIONS AND DETAILS
A7.1	WALL SECTIONS AND DETAILS
A7.2	WALL SECTIONS AND DETAILS
A7.3	WALL SECTIONS AND DETAILS
A7.4	WALL SECTIONS AND DETAILS
A7.5	WALL SECTIONS AND DETAILS
A7.6	HANDRAIL AND GUARD DETAILS

STRUCTURAL	
WEATHERLY ENGINEERING, LLC	
S1.0	STATEMENT OF SPECIAL INSPECTIONS
S1.1	GENERAL NOTES AND SPECIFICATIONS
S2.0	FOUNDATION PLANS
S2.1	FRONT CANOPY STRUCTURAL PLANS
S2.2	ALT #3 CANOPY STRUCTURAL PLANS
S2.3	ALT #2 CANOPY STRUCTURAL PLANS
S3.0	CANOPY SECTION DETAILS
S3.1	CANOPY SECTION DETAILS
S3.2	CANOPY SECTION DETAILS
S3.3	CANOPY SECTION DETAILS
S3.4	STRUCTURAL DETAILS
S3.5	SECTION DETAILS
S3.6	SITE DETAILS
PLUMBING	
MECHANICAL DESIGN INC.	
P1	PLUMB NOTES, DETAILS, SCHEDULES
P2	PLUMBING FLOOR PLAN-AREA "A"
P2.1	PARTIAL PLANS - AREA "A"
P3	PLUMBING FLOOR PLAN-AREA "B" & "C"
P3.1	PARTIAL PLANS - AREA "B"
P4	PLUMBING ROOF PLAN
MECHANICAL	
MECHANICAL DESIGN INC.	
M1.1	HVAC FLOOR PLAN - AREA "A" (BASE BID)
M1.1A	HVAC FLOOR PLAN - AREA "A" (ALTERNATE)
M1.2	HVAC FLOOR PLAN - AREA "B"
M1.2A	HVAC FLOOR PLAN - AREA "B" (ALTERNATE)
M1.3	HVAC PIPING PLAN - AREA "A"
M1.4	HVAC PIPING PLAN - AREA "B"
M2.1	HVAC ROOF PLAN
M3.1	HVAC SCHED, NOTES, SYMBOLS
M4.1	HVAC DETAILS
M4.2	HVAC DETAILS
FIRE SPRINKLER	
MECHANICAL DESIGN INC.	
SP1	SPRK FLR PLAN - AREA "D", DTLS, NOTES
SP2	SPRK FLR PLAN - AREA "A"
SP3	SPRK FLR PLAN - AREA "B" & "C"

ELECTRICAL	
SIMS GROUP ENGINEERS, INC.	
E0.1	ELECTRICAL SYMBOLS & NOTES
E0.2	ELECTRICAL SITE PLAN
E0.3	DEMOLITION PLAN
E1.1	LIGHTING PLAN - SHERIFF
E1.2	LIGHTING PLAN - EOC
E1.3	LIGHTING PLAN - HEALTH DEPT
E1.4	LIGHTING PLAN - CANOPIES
E1.5	LIGHTING PLAN - PHASE II AREA
E1.6	LIGHTING PLAN - PHASE II - DSS
E2.1	POWER PLAN - SHERIFF
E2.2	POWER PLAN - EOC
E2.3	POWER PLAN - HEALTH DEPT
E3.1	HVAC POWER PLAN - SHERIFF
E3.2	HVAC POWER PLAN - EOC
E3.3	HVAC POWER PLAN - HEALTH DEPT
E4.1	COMMUNICATIONS PLAN - SHERIFF
E4.2	COMMUNICATIONS PLAN - EOC
E4.3	COMMUNICATIONS PLAN - HEALTH DEPT
E5.1	FIRE ALARM PLAN - SHERIFF
E5.2	FIRE ALARM PLAN - EOC
E5.3	FIRE ALARM PLAN - HEALTH DEPT
E5.4	FIRE ALARM PLAN - PHASE II AREA
E5.5	FIRE ALARM PLAN - PHASE II DSS AREA
E5.6	FIRE ALARM SYMBOLS
E6.1	ELECTRICAL RISER DIAGRAMS
E6.2	ELECTRICAL PANEL SCHEDULES
E6.3	ELECTRICAL PANEL SCHEDULES
E6.4	ELECTRICAL DETAILS
E6.5	ELECTRICAL DETAILS
ROOF PLANS	
SHEPARD & ASSOC., LLC (ROOFING UNDER SEPARATE CONTRACT AND NOT INCLUDED UNDER THIS CONTRACT, U.N.O. ATTACHED DRAWINGS ARE FOR REFERENCE ONLY.)	
K1	KEY PLAN, DWG INDEX, LOCATION PLAN
X1	ROOF DEMOLITION PLAN
R1	ROOF PLAN
D1	ROOF DETAILS
D2	ROOF DETAILS
D3	ROOF DETAILS

VICINITY MAP



CITY OF BAMBERG

PMH

PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO :
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

COVER

CHECKED BY:
COMM: 17019
FILE:
DRAWN BY: DP
PLOT: 1
DATE: 10-14-20
REV: 10-xx-20

SHEET

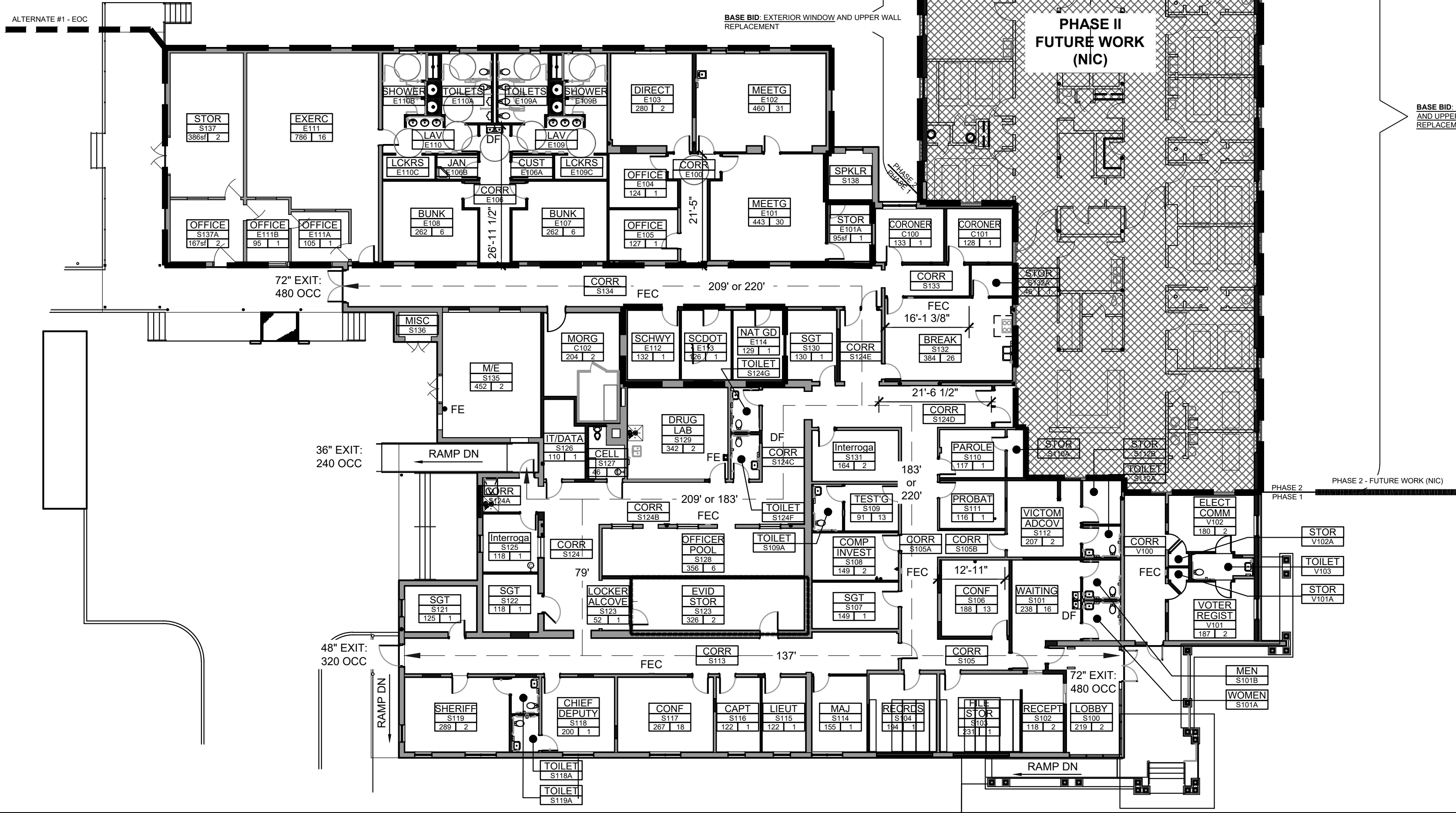
CV1



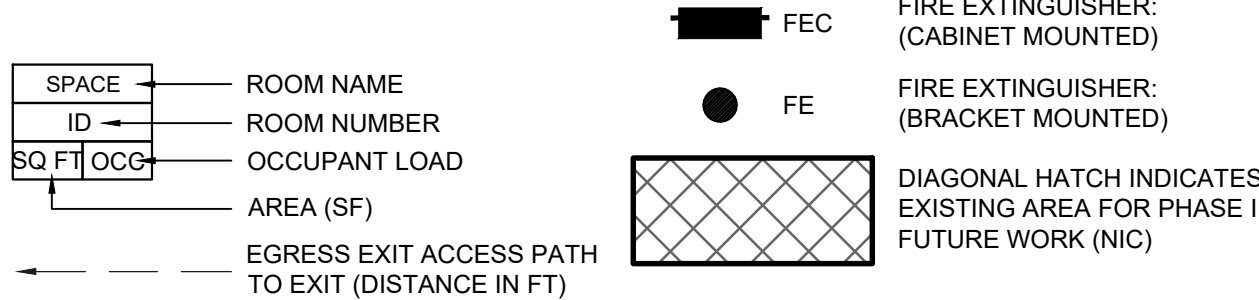
THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION

ABBREVIATIONS				P	PAINT / POWER	PA	PUBLIC ADDRESS	PB	PEGBOARD
AB	ANCHOR BOLT	ACC	ACCORDING / ACCORDIAN	ACoust	ACOUSTICAL	PBB	PLASTER BASEBOARD	PBD	PARTICLEBOARD
ACT	ACOUSTICAL CEILING TILE	AD	AREA DRAIN	ADD	ADDENDUM	PCD	PAPER CUP DISPENSER	PERF	PERFORATED
ADJ	ADJUSTABLE / ADJACENT	AFF	ABOVE FINISH FLOOR	AGG	AGGREGATE	PG	PLATE GLASS	PH	PHASE
AHU	AIR-HANDLING UNIT	AL	ALUMINUM	ALT	ALTERNATE / ALTERATION	PLAM	PLASTIC LAMINATE	PLAS	PLASTER
ANOD	ANODIZED	AP	ACCESS PANEL / APRON PANEL	APPROX	APPROXIMATE	PNL	PANEL	PNT	PAINT
APT	APARTMENT	ARCH	ARCHITECT / ARCHITECTURAL	ASPH	ASPHALT	PP	PUSH PLATE	PR	PAIR
AVE	AVENUE	AVG	AVERAGE	AWP	ACOUSTICAL WALL PANEL	PSF	POUNDS PER SQUARE FOOT	PSI	POUNDS PER SQUARE INCH
BC	BOTTOM OF CURB	BD	BOARD	BFD	BI-FOLD DOOR	PT	POST-TENSIONED	PTD	PAINTED
BITUM	BITUMINOUS	BL	BUILDING LINE	BLDG	BUILDING	PTDW	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	PTN	PARTITION
BLKG	BLOCKING	BLVD	BOULEVARD	BM	BEAM / BENCHMARK	PVMT	PAVEMENT	PVC	POLYVINYL CHLORIDE
BOT	BOTTOM	BRG	BEARING	BSMT	BASEMENT	QT	QUARRY TILE	QTR	QUARTER
BTWN	BETWEEN	BUR	BUILT-UP ROOF	BW	BUILT-UP OF WALL	R	RISER	RAS	BACKER ROD AND SEALANT
C	CELSIUS / CENTIGRADE	CAB	CABINET	CAP	CAPACITY	RAD	RADIUS	RB	RUBBER-BASE
CARP	CARPET	CB	CATCH BASIN / CHALK BOARD	CD	CEILING DIFFUSER	RD	ROOF DRAIN	REBAR	REINFORCING BAR
CEM	CEMENT	CEM PL	CEMENT PLASTER	CER	CERAMIC	RECEPT	RECEPTACLE	RECT	RECTANGULAR
CG	CORNER GUARD	CH	COAT HOOK	CHRL	CHAIR RAIL	REG	REGISTRATION / REGISTER	REINF	REINFORCE
CI	CAST IRON	CIP	CAST-IN-PLACE	CJ	CONTROL JOINT	RES	RESILIENT	RET	RETAINING / RETURN
CL	CENTERLINE	CLG	CEILING	CLKG	CAULKING	RH	ROBE HOOK / ROUND HEAD / RIGHT-HAND	RH	RELATIVE HUMIDITY
CLO	CLOSET	CLR	CLEAR	CLSR	CLOSER	RO	ROUGH OPENING	ROW	RIGHT OF WAY
CMU	CONCRETE MASONRY UNITS	COL	CLEAN OUT	COL	COLUMN	RRL	RUB RAIL	RS	ROUGH-SAWN
COMP	COMPOSITE / COMPOSITION	CONC	CONCRETE	COND	CONDITION	S	SOUTH / SHELF	S&R	SHELF AND ROD
CONN	CONNECT / CONNECTION	CONST	CONSTRUCTION	CONT	CONTINUOUS	SAN	SANITARY	SC	SOLID CORE
COORD	COORDINATE	CORR	CORRIDOR	CR	COLD ROLLED	SCHD	SCHEDULE	SCR	SHOWER CURTAIN ROD
CT	CERAMIC TILE	CT	CURTAIN TRACK	CTR	CENTER	SD	SOAP DISH / SOAP DISPENSER	SEC	SECOND
CTSK	COUNTERSUNK	CU	CUBIC	CW	COLD WATER	SF	SQUARE FEET	SFC	SPECIAL FLOOR COVERING
d	PENNY NAILS	db	DECIBEL	D	DRYER (CLOTHES)	SHR	SHOWER	SHT	SHEET
DBL	DOUBLE	DECID	DECIDUOUS	DEPT	DEPARTMENT	SHV	SHEET VINYL	SGL	SINGLE
DET	DETAIL	DF	DRINK FOUNTAIN	DIA	DIAMETER	SMR	SHEET-METAL RACEWAY	SMS	SHEET-METAL SCREWS
DIAG	DIAGONAL	DICA	DRILLED IN CONCRETE ANCHOR	DIFF	DIFFUSER	SNW	SANITARY NAPKIN WASTE RECEPTOR	SPEC	SPECIFICATIONS
DIM	DIMENSION	DISP	DISPOSAL / DISPENSER	DL	DEAD LOAD	SS	SERVICE SINK	SST	STAINLESS STEEL
DN	DOWN	DR	DOOR / DRAIN	DS	DOWNSPOUT	STA	STATION	STC	SOUND-TRANSMISSION CLASS
DSP	DRY STAND PIPE	DW	DISHWASHER	DWG	DRAWING	STL	STEEL	STOR	STORAGE
DWR	DRAWER	EB	EXPANSION BOLT	EJ	EXPANSION JOINT	SUBFL	SUBFLOOR	SURF	SURFACE
EA	EAST / EACH	ELEC	ELECTRICAL	ELEV	ELEVATOR/ELEVATION	SWM	SPECIAL WALL COATING	SYM	SYMMETRICAL
EL (ELEV)	ELEVATION	ENAM	ENAMEL	ENTR	ENTRANCE	T&S	TOP / THRESHOLD / TREAD / TOILET	T&S	TOP & BOTTOM / TEST & BALANCE
EMERG	EMERGENCY	EQ	EQUAL/EARTHEQUAKE	EQJ	EARTHQUAKE JOINT	TB	TOWEL BAR / TACKBOARD	TBB	TILE BACKER BOARD
EP	ELECTRICAL PANEL / END PNL	EQ	EQUAL/EARTHEQUAKE	EQJ	EARTHQUAKE JOINT	TCC	TOP OF CURB / TOP OF CONCRETE	TD	TOWEL DISPENSER
EQUIP	EQUIPMENT	ETR	EXISTING TO REMAIN	EW	EACH WAY	TEL	TELEPHONE	TEMP	TEMPERED / TEMPORARY / TEMPERATURE
EW	ELECTRIC WATER COOLER	EXH	EXHAUST	EXP	EXPANSION	TF	TOP OF FOOTING	TG	TEMPERED GLASS
EXST(E)	EXISTING	EXT	EXTERIOR	FAB	FABRICATE	THR	THRESHOLD	TN	TOENAIL
F	FAHRENHEIT	FA	FIRE ALARM / FORCED AIR	FD	FLOOR DRAIN	TOIL	TOILET	TOL	TOLERANCE
FB	FLAT BAR	FBD	FIBER BOARD	FE	FIRE EXTINGUISHER	TOS	TOP OF STEEL	TOW	TOP OF WALL
FDC	FIRE DEPARTMENT CONNECTION	FDN	FOUNDATION	FG	FIRE EXTINGUISHER	TPO	THERMOPLASTIC POLYOLEFIN SINGLE PLY ROOFING MEMBRANE	TV	TELEVISION
FEC	FIRE EXTINGUISHER	FF	FACTORY FINISH / FINISH CABINET	FHMS	FLATHEAD MACHINE SCREW	UBC	UNIFORM BUILDING CODE	UC	UNDER COUNTER / UNDER CUT
FH	FIRE HYDRANT / FLATHEAD	FHC	FIRE HOSE CABINET	FIN	FINISH	UNFIN	UNFINISHED	UNO	UNLESS NOTED OTHERWISE
PHWS	FLATHEAD WOOD SCREW	FIC	FURNISHED & INSTALLED BY CONTRACTOR	FL	FLOOR	UTIL	UTILITY	UV	UNIT VENTILATION / ULTRAVIOLET
FIO	FURNISHED & INSTALLED BY OWNER	FIT	FURNISHED & INSTALLED BY TENANT	FM	FROM / FACTORY MUTUAL RESEARCH CORP	V	VINYL	VAR	VARIABLE / VARNISH / VARIES
FLASH	FLASHING	FLUOR	FLUORESCENT	FM	FROM / FACTORY MUTUAL RESEARCH CORP	VERT	VERTICAL	VEST	VESTIBULE
FOB	FACE OF BRICK	FOC	FACE OF CONCRETE	FOF	FACE OF FINISH	VIF	VERIFY IN FIELD	VOL	VOLUME
FOIC	FURNISHED BY OWNER	FTIC	FURNISHED BY TENANT	FOV	FURNISHED BY OWNER	VIN	VINYL TILE	VWC	VINYL WALL COVERING
FOM	FACE OF MASONRY	FOS	FACE OF STUDS	FP	FIREPROOF(ING)	VT	VINYL TILE	W	WEST / WATER / WASHER (CLOTHES) / WATT
FR	FREEZER / FIRE RETARDANT	FS	FULL SIZE / FLOOR SINK	FT	FOOT (OF FEET)	WAIN	WAINSCOT	WC	WATER CLOSET
FTG	FOOTING	FURN	FURNACE / FURNISH / FURNITURE	FURR	FURRING	WDW	WINDOW	WF	WIDE FLANGE
FUT	FUTURE	FWP	FLAT WALL PAINT	GALV	GALVANIZED	WH	WATER HEATER	WIC	WOODWORK INSTITUTE OF CALIFORNIA
G	GAS	GA	GAUGE	GD	GENERAL CONTRACTOR	WR	WASTE RECEPTACLE	WS (W-STRIP)	WEATHERSTRIPPING
GB	GRAB BAR	GC	GENERAL CONTRACTOR	GD	GENERAL CONTRACTOR	WT	WEIGHT	WWF	WELDED WIRE FABRIC
GFI	GROUND-FAULT INTERRUPTER	GFR	GLASS FIBER REINFORCED CONCRETE	GFRG	GLASS FIBER REINFORCED GYPSUM	YD	YARD DRAIN / YARD		
GL	GLASS / GLAZING / GLAZED	GLAM	GLUE-LAMINATED WOOD	GND	GROUND				
GWB	GYPSUM WALL BOARD	GYP	GYPSUM						
H	HINGE / HIGH	HB	HOSE BIB	HC	HANDICAP / HOLLOW CORE				
HCT	HOLLOW CLAY TILE	HCW	HOT & COLD WATER	HCW	HOLLOW-CORE WOOD				
HDBD	HARDBOARD	HDR	HARDNER	HDR	HEADER				
HDWD	HARDWOOD	HDWE	HARDWARE	HM	HOLLOW METAL				
HORIZ	HORIZONTAL	HP	HORSE POWER / HIGH POINT	HP	HEAT PUMP				
HR	HOUR / HANDRAIL	HS	HOOK STRIP	HT	HEIGHT				
HTG	HEATING	HW	HOT WATER	HWR	HOT WATER RETURN				
ID	INSIDE DIAMETER	ID	INSIDE DIMENSION	IE	INVERT ELEVATION				
IG	INSULATING GLASS	IN	INCHES	IND	INDICATED				
INFO	INFORMATION	INSP	INSPECTION	INST	INSTALLATION				
INSUL	INSULATION	IN	INTERIOR						
JAN	JANITOR	JST	JOIST	JT	JOINT				
KD	KILN DRIED	KIP	1000 POUNDS	KIT	KITCHEN				
KO	KNOCK OUT	KP	KICK PLATE	KS	KNEE SPACE				
L	LEFT / LENGTH	LAB	LABORATORY	LAM	LAMINATE				
LAV	LAVATORY	LB	POUND	LH	LEFT HAND				
LHR	LEFT-HAND REVERSED	LKR	LOOKER	LL	LIVE LOAD				
LP	LOW POINT	LSG	LAMINATED SAFETY GLASS	LT	LIGHT				
LTWT	LIGHTWEIGHT								
MIS	MIRROR WITH SHELF	MACH	MACHINE	MAG-HD-OP	MAGNETIC-HOLD-OPEN				
MAS	MASONRY	MAT	MATERIAL	MAX	MAXIMUM				
MB	MACHINE BOLT / MARKER BOARD	MBL	MARBLE	MC	MEDICINE CABINET				
MCW	MINERAL CORE WOOD	MDF	MEDIUM-DENSITY FIBERBOARD	MDO	MEDIUM-DENSITY OVERLAY				
MECH	MECHANICAL	MEMB	MEMBRANE	MET	METAL				
MEZZ	MEZZANINE	MFR	MANUFACTURER	MG	MIRROR GLASS				
MH	MANHOLE	MIN	MINIMUM / MINUTE	MIR	MIRROR				
MISC	MISCELLANEOUS	MO	MASONRY OPENING	MOD	MODULE / MODIFY				
MS	MIRROR WITH SHELF	MS	MACHINE SCREW	MTD	MOUNTED				
MUL	MULLION								
N	NORTH	NO. / #	NUMBER	NOM	NOMINAL				
NTS	NOT-TO-SCALE								
OA	OVERALL	OC	ON-CENTER	OD	OUTSIDE DIAMETER				
OFD	OVERFLOW DRAIN	OFF	OFFICE	OH	OVER HEAD				
OH-STOP	OVERHEAD STOP	OHWS	OVAL HEAD WOOD SCREW	OPNG	OPENING				
OPP	OPPOSITE	OSB	ORIENTED STRAND BOARD	OZ	OUNCE				

PB	PEGBOARD	PC	PRECAST
PERP	PERPENDICULAR	PL	PLATE
PLYW	PLYWOOD	POL	POLISH
PREFAB	PREFABRICATED	PREFAB	PREFABRICATED
PT	PAPER TOWEL DISPENSER / POINT	PTD	PAPER TOWEL DISPENSER
PVC	POLYVINYL CHLORIDE		
PB	PEGBOARD	RA	RETURN AIR
RCP	REFLECTED CEILING PLAN		
RECEP	RECEPTION		
REF	REFERENCE / REFRIGERATE		
REQ	REQUIRED		
REV	REVISION		
RM	ROOM		
RP	RADIUS POINT		
RAW	RAINWATER LEADER		
S&V	STAIN AND VARNISH		
SCD	SEAT COVER DISPENSER		
SCW	SOLID CORE WOOD		
SECT	SECTION		
SGEN	SEMIGLOSS ENAMEL		
SHTG	SHEATHING		
SLR	SEALER		
SND	SANITARY NAPKIN DISPENSER		
SQ	SQUARE		
STD	STANDARD		
STRUCT	STRUCTURE / STRUCTURAL		
SUSP	SUSPENDED		
SYM	SYMMETRICAL		
T&S	TOP & BOTTOM / TEST & BALANCE		
T&S	TONGUE & GROOVE		
TC	TERRACOTTA		
TDW	TOWEL DISPENSER & WASTE		
TEMP	TEMPERED / TEMPORARY / TEMPERATURE		
THK	THICK		
TOD	TOP OF DECK		
TOP	TOP OF PAVEMENT		
TPD	TOILET PAPER DISPENSER		
TYP	TYPICAL		
UL	UNDERWRITERS LABORATORIES, INC		
UR	URINAL		
UV	UNIT VENTILATION / ULTRAVIOLET		
VAR	VARIABLE / VARNISH / VARIES		
VCT	VINYL-COMPOSITE TILE		
VG	VERTICAL GRAIN		
VP	VENEER PLASTER		
W	WITH		
W/	WITHOUT		
WC	WATER CLOSET		
WG	WIRE GLASS / WIRE GAUGE		
WP	WORKPOINT / WATERPROOF		
WSC	WOOD SOLID CORE		
WWS	WEATHERSTRIPPING		
WWM	WELDED WIRE MESH		



SYMBOL LEGEND



GENERAL NOTES:

- ALL WORK TO BE INSTALLED PER THE LATEST CURRENT ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE(S) AND ALL OTHER CODES REFERENCED THROUGHOUT THESE CONTRACT DOCUMENTS.
- ABBREVIATIONS: NA=NOT APPLICABLE, SF=SQUARE FEET, A-3 = ASSEMBLY, B=BUSINESS, S1=STORAGE (LOW HAZARD)
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED, LOCATED AND INSTALLED PER REQUIREMENTS OF IBC SECTION 906 AND THE INTERNATIONAL FIRE CODE.
- TWO EXITS REQUIRED FROM ANY SPACE IN EXCESS OF 49 OCCUPANTS (IBC TABLE 1006.2.1)
- THE EXIT ACCESS TRAVEL DISTANCE SHALL BE IN ACCORDANCE WITH SECTION 1017 AND TABLE 1017.2 AS FOLLOWS: 300'-0" (SPRINKLER)
- BUILDING AREAS NOTED AS FUTURE RENOVATION (PHASE II) ARE NOT ADDRESSED INDIVIDUALLY IN THIS CODE ANALYSIS AND WILL HAVE TO BE ASSESSED AT A LATER DATE SEPARATELY FROM THIS PROJECT DEVELOPMENT AFTER THE COUNTY DEVELOPS A PROGRAM FOR IMPROVEMENTS. THESE SPACES WILL NOT BE OCCUPIED UNTIL AFTER THE FUTURE PROGRAM AND RENOVATIONS ARE DEVELOPED.

BUILDING CODE ANALYSIS

INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION	
CODE ITEM	REQUIREMENTS
OCCUPANCY CLASSIFICATION (SECT 304):	BUSINESS - B
CONSTRUCTION CLASSIFICATION (CH 6):	TYPE IIB, SPRINKLERED
AREA ALLOWED (TABLE 506.2):	92,000 SF
AREA ACTUAL:	39,652 SF
HEIGHT ALLOWED (TABLE 504.3):	75'-0"
HEIGHT ACTUAL:	15'-0"
STORIES ALLOWED (TABLE 504.4):	4
STORIES ACTUAL:	1
STRUCTURAL MEMBERS (TABLE 601 - HOURS)	
PRIMARY STRUCTURAL FRAME:	0
BEARING WALLS - EXTERIOR:	0
NON-BEARING WALLS - EXTERIOR:	0 (TABLE 602: X ≥ 30)
NON-BEARING INTERIOR PARTITIONS:	0
FLOOR CONSTRUCTION:	0
ROOF CONSTRUCTION:	0
FIRE SEPARATION (FIRE/SMOKE PROTECTION)	
OCCUPANCY SEPARATION (TABLE 508.4):	NA
EXTERIOR WALLS (TABLE 602):	0 (DIST X > 30'-0")
FIRE WALLS (SECTION 706):	NA
FIRE BARRIERS (SECTION 707):	NA
FIRE/SMOKE PARTS (SECTS 708/709/710):	NA
FLOOR/ROOF ASSEMBLIES (SECTION 711):	0
SHAFT ENCLOSURES, EXIT STAIRS (SECTION 713):	0
HORIZONTAL EXIT (SECTION 1026):	NA
CORRIDORS (TABLE 1020.1):	0
DEAD END CORRIDORS (SECTION 1020.4):	50'-0" (EXCEPTION 2)
EXIT ACCESS TRAVEL DIST (TABLE 1017.2):	300 FT (SPRINKLER)
MAX. FLOOR AREA PER OCCUPANT (TABLE 1004.5)	
SPACE TYPE	SQ. FT.
BUSINESS (B)	8,035
ASSEMBLY (A-3)	3,247
STORAGE (S1)	1,229
SF/ PERSON	
BUSINESS (B)	150 SF / PERSON
ASSEMBLY (A-3)	15 SF / PERSON
STORAGE (S1)	300 SF / PERSON

PLUMBING FIXTURE COUNT (2018 IPC TABLE 403.1)

CLASSIFIC	TOT OCC	WC(M)	WC(F)	LAV(M)	LAV(F)	DF	OTHER
SHERIFF / EOC (BUSINESS)	207	1:25 up to 50 1:50 abv 50	1:25 up to 50 1:50 abv 50	1:40 up to 80 1:80 abv 80	1:40 up to 80 1:80 abv 80	1:100	JAN SINK
PROVIDED	104	3	3	2	2	2	1
HEALTH (BUSINESS)	111	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	56	2	2	2	2	1	1
VOTER REG (BUSINESS)	2	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	1	1		1			
VET AFFRS (BUSINESS)	6	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	1	1		1			

OCCUPANCY COUNT / EGRESS DOOR WIDTH (IBC SECT. 1005, 1005.3.2 Exception 1)

BUILDING AREA	OCCUPANTS	WIDTH FACTOR	TOT DOOR WIDTH (IN)	TOT DOORS PROVIDED	TOT DOORS REQUIRED
SHERIFF / EOC	207	.15 (SPRINK)	31	2	(5) 3'-0" WIDE (1) 4'-0" WIDE
HEALTH / VA	111	.15 (SPRINK)	17	2	(3) 3'-0" WIDE
VOTER REGISTR	2	.15 (SPRINK)	.3	1	(1) 3'-0" WIDE



PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER

COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

CODE
ANALYSIS

CHECKED BY:

COMM: 17019
FILE: COVER/CODE
DRAWN BY: dsvh

THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION

WALL LEGEND	
TYPE	DESCRIPTION
(A)	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY THICKNESS
(B)	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, SEE PLAN FOR THICKNESS
(C)	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY THICKNESS
(D)	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION
(E)	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (N.B. BRICK MASONRY AND STUDS)
(F)	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED
(G)	1-HOUR FIRE RATED WALL WITH 34 HOUR PROTECTED OPENINGS, FIRE CAULK ALL PENETRATIONS.

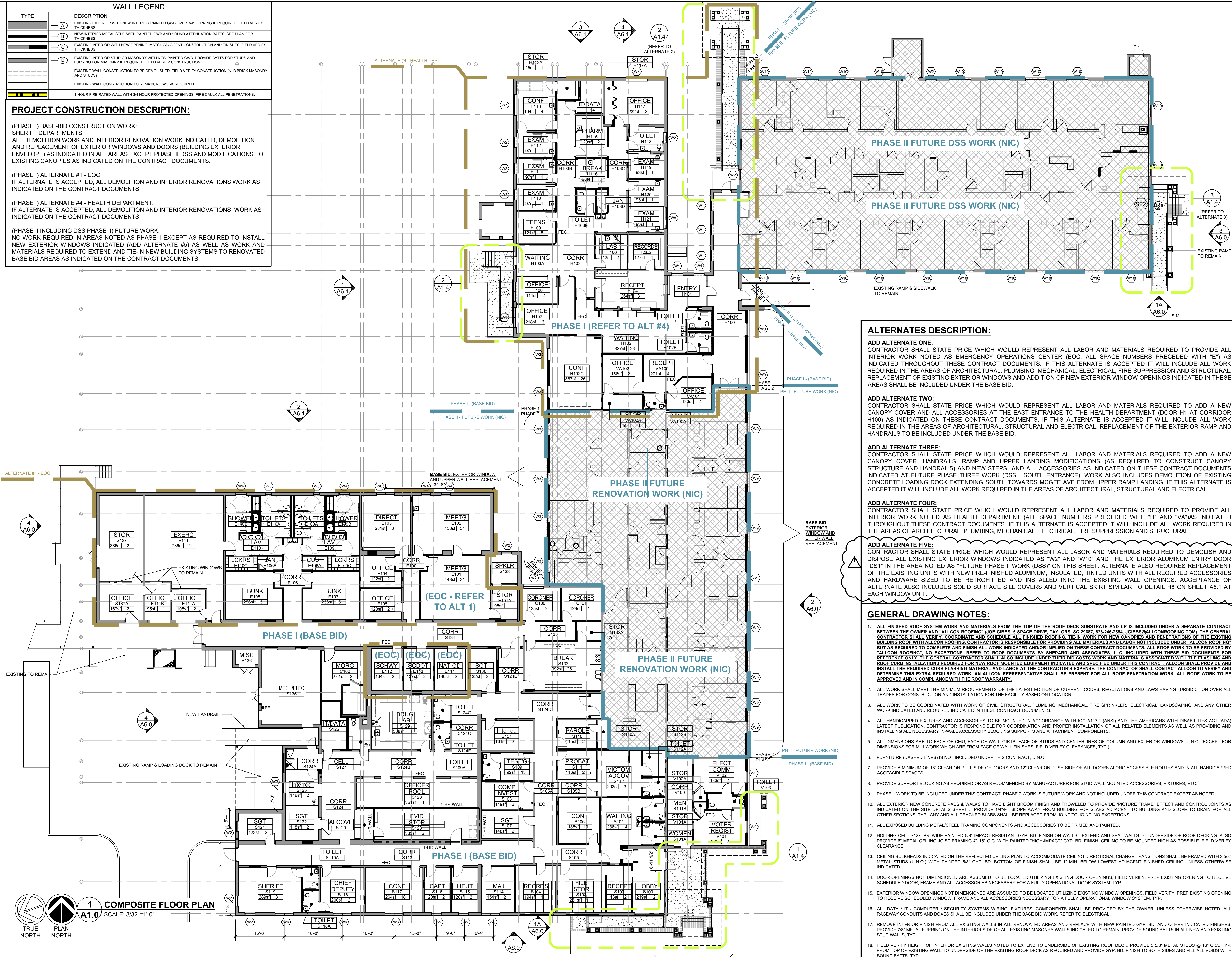
PROJECT CONSTRUCTION DESCRIPTION:

(PHASE I) BASE-BID CONSTRUCTION WORK:
SHERIFF DEPARTMENTS:
ALL DEMOLITION WORK AND INTERIOR RENOVATION WORK INDICATED, DEMOLITION AND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS (BUILDING EXTERIOR ENVELOPE) AS INDICATED IN ALL AREAS EXCEPT PHASE II DSS AND MODIFICATIONS TO EXISTING CANOPIES AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #1 - EOC:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.

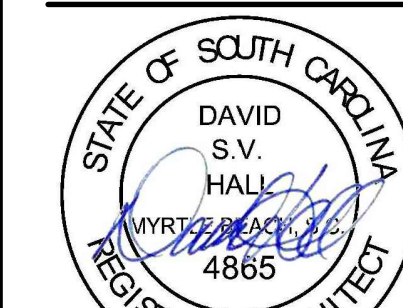
(PHASE I) ALTERNATE #4 - HEALTH DEPARTMENT:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS

(PHASE II INCLUDING DSS PHASE II) FUTURE WORK:
NO WORK REQUIRED IN AREAS NOTED AS PHASE II EXCEPT AS REQUIRED TO INSTALL NEW EXTERIOR WINDOWS INDICATED (ADD ALTERNATE #5) AS WELL AS WORK AND MATERIALS REQUIRED TO EXTEND AND TIE-IN NEW BUILDING SYSTEMS TO RENOVATED BASE BID AREAS AS INDICATED ON THE CONTRACT DOCUMENTS.



PMH

PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

COMPOSITE
FLOOR
PLAN

CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV: 11-19-20

SHEET

A1.0

OF XX

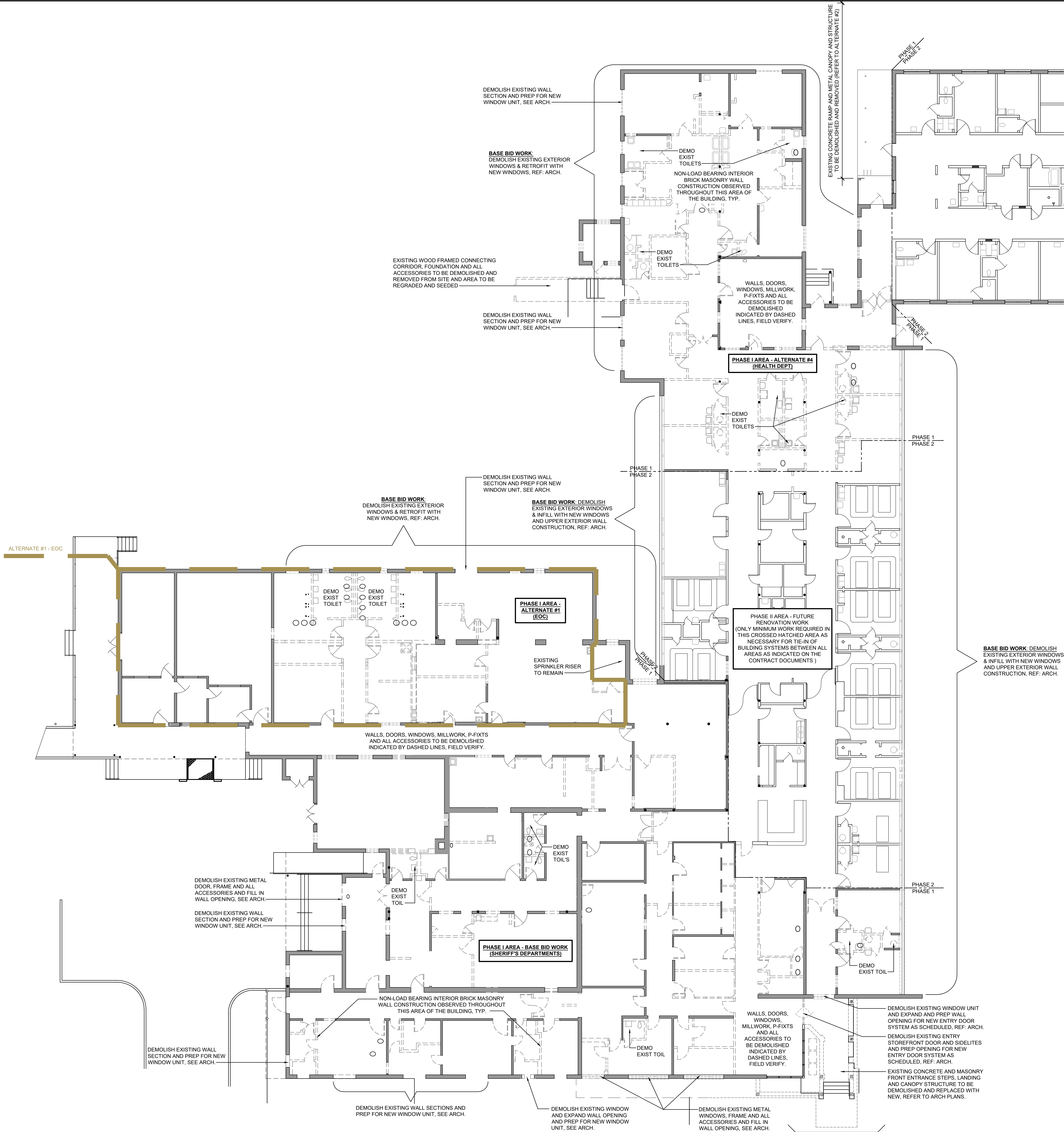
PMH@PMHARCHITECTS.COM

PHONE: (843) 497-0272 FAX: (843) 497-0271

1300 PROFESSORS DRIVE, SUITE 201, MYRTLE BEACH, SOUTH CAROLINA 29577

PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC.

THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION



PROJECT CONSTRUCTION DESCRIPTION:

(PHASE I) BASE-BID CONSTRUCTION WORK:
SHERIFF DEPARTMENTS:
ALL DEMOLITION WORK AND INTERIOR RENOVATION WORK INDICATED, DEMOLITION AND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS (BUILDING EXTERIOR ENVELOPE) AS INDICATED IN ALL AREAS EXCEPT PHASE II DSS AND MODIFICATIONS TO EXISTING CANOPIES AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #1 - EOC:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.






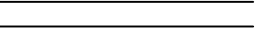
(PHASE I) ALTERNATE #4 - HEALTH DEPARTMENT:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.

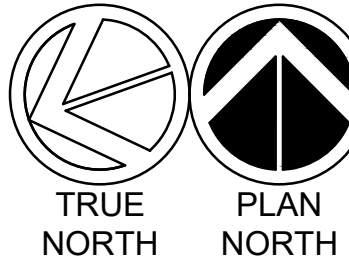
(PHASE II INCLUDING DSS PHASE II) FUTURE WORK:
NO WORK REQUIRED IN AREAS NOTED AS PHASE II EXCEPT AS REQUIRED TO INSTALL NEW EXTERIOR WINDOWS INDICATED (ADD ALTERNATE #5) AS WELL AS WORK AND MATERIALS REQUIRED TO EXTEND AND TIE-IN NEW BUILDING SYSTEMS TO RENOVATED BASE BID AREAS AS INDICATED ON THE CONTRACT DOCUMENTS.

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS ENCOUNTERED WITH REVIEW OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF CURRENT CODES AND REGULATIONS HAVING JURISDICTION OVER ALL TRADES FOR CONSTRUCTION AND INSTALLATION FOR THE FACILITY BASED ON LOCATION.
- EXTREME CARE MUST BE TAKEN AT TRANSITIONS OF EXISTING MATERIALS (SITE ELEMENTS, MASONRY, FLOORS, CEILINGS, ETC.), TO ADDITION WORK. CLEAN CUTS MUST OCCUR DURING DEMOLITION IN ORDER TO PROVIDE FOR A SMOOTH CONTINUATION OF FINISHES FROM EXISTING TO NEW ADDITIONS. EXISTING CONSTRUCTION TO REMAIN AT INTERSECTION OF NEW OPENINGS AND BUILDING ADDITIONS TO BE REPAIRED AND PREPARED FOR NEW FINISH. CONTRACTOR SHALL PROVIDE NEW MATERIALS AT THE END OF EXISTING CONSTRUCTION TO PROVIDE LIKE NEW FINISH EDGES, CORNERS, ETC.
- CONTRACTOR SHALL CONDUCT THEIR OWN SITE VISITS PRIOR TO BIDDING AND CONSTRUCTION START TO FIELD VERIFY ALL EXISTING CONDITIONS. CONDITIONS INDICATED ON THESE CONTRACT DOCUMENTS MAY VARY OR DIFFER FROM ACTUAL CONDITIONS AND SITUATIONS, ESPECIALLY FOR CONDITIONS NOT VISIBLE BEHIND EXISTING FINISHES AND CONCEALED AREAS.
- CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PRESERVE AND PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION, RENOVATION, OR NEW ADDITION WORK. IN THE EVENT THE EXISTING FLOOR FINISH REQUIRES REMOVAL FOR NEW CONSTRUCTION, CONTRACTOR SHALL PROVIDE STRAIGHT CLEAN SAW CUT EDGES AS CLOSE AS POSSIBLE TO NEW WORK AND PROVIDE NEW TRANSITION STRIPS. REPAIR, REPLACE AND REFINISH ALL DAMAGED WORK TO MATCH ADJACENT CONSTRUCTION/FINISHES, ETC., TYP.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED DEBRIS, MATERIALS, ETC., FROM SITE AND IN COMPLIANCE WITH ALL LOCAL REGULATIONS AND LAWS AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT AND PRESERVE EXISTING EXTERIOR BRICK UNITS INDICATED TO BE DEMOLISHED FOR REUSE AND PATCHING OF AREAS IN THE EXISTING BUILDINGS SCHEDULED FOR MODIFICATIONS.
- BASE BID WORK INCLUDES DEMOLISH OF ALL EXISTING WINDOW UNITS IN THE NORTH AND SOUTH EXTERIOR WALLS OF THE BUILDING AREA NOTED AS "PHASE II - FUTURE WORK" (DOES NOT INCLUDE PHASE II - DSS AREA). ALSO PROVIDE TEMPORARY COVERS OVER ALL EXTERIOR WALL OPENINGS AS REQUIRED TO PROTECT BUILDING INTERIOR FROM WEATHER EVENTS UNTIL RENOVATION WORK AND INSTALLATION OF NEW UNITS CAN BE COMPLETED.

WALL LEGEND

TYPE	DESCRIPTION
	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY CONSTRUCTION (AND STUDS)
	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, FIELD VERIFY CONSTRUCTION (AND STUDS)
	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY CONSTRUCTION (AND STUDS)
	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION (AND STUDS)
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (AND STUDS)
	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED



1 D1.0 DEMOLITION FLOOR PLAN
SCALE: 3/32"=1'-0"

PMH

PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
**COUNTY OF
BAMBERG**
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

**DEMOLITION
FLOOR
PLAN**

CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV:

SHEET

D1.0

OF XX

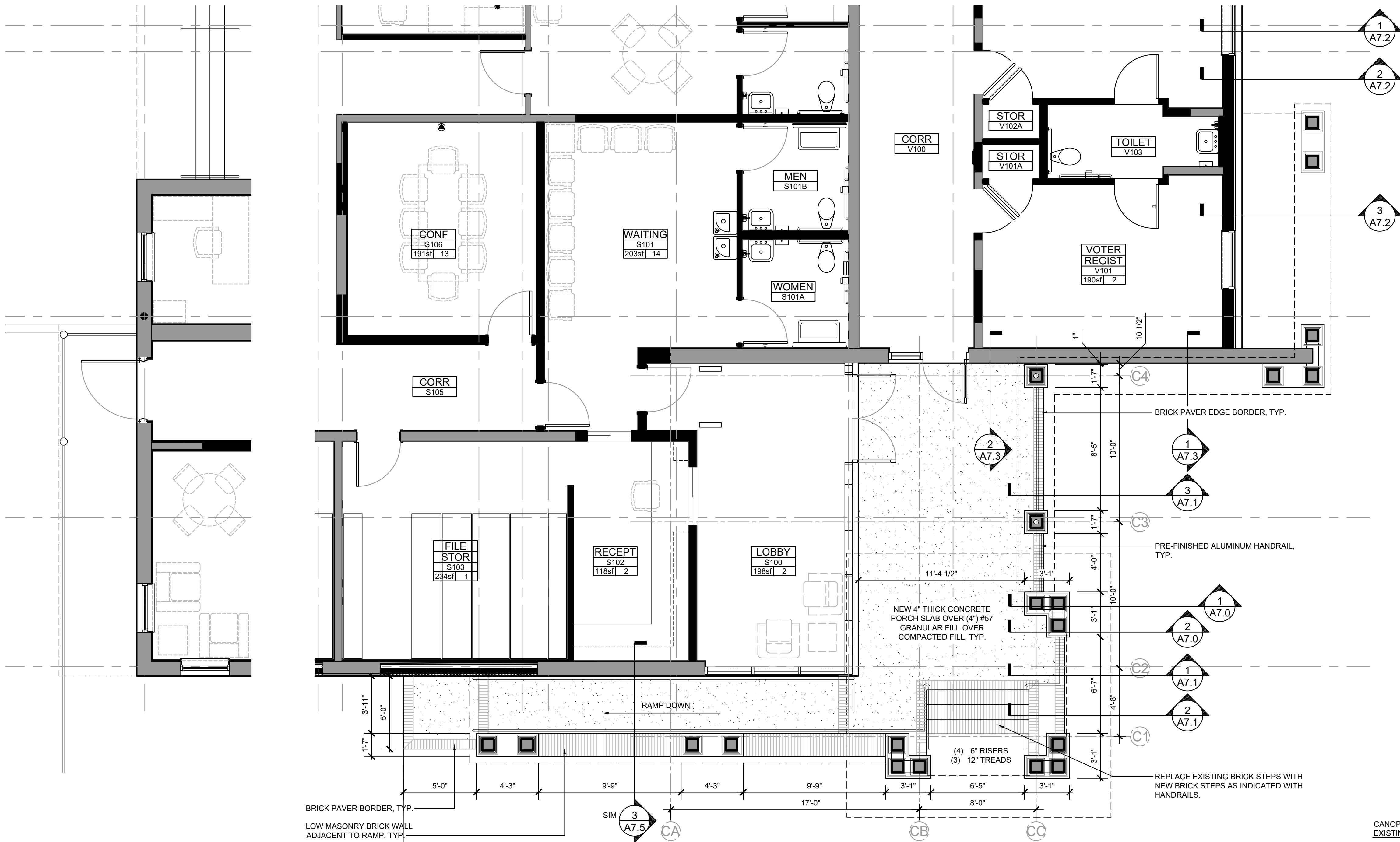
PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC.

PHONE: (843) 497-0272 FAX: (843) 497-0271

1300 PROFESSIONAL DRIVE, SUITE 201, MYRTLE BEACH, SOUTH CAROLINA 29577

PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC.

THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION

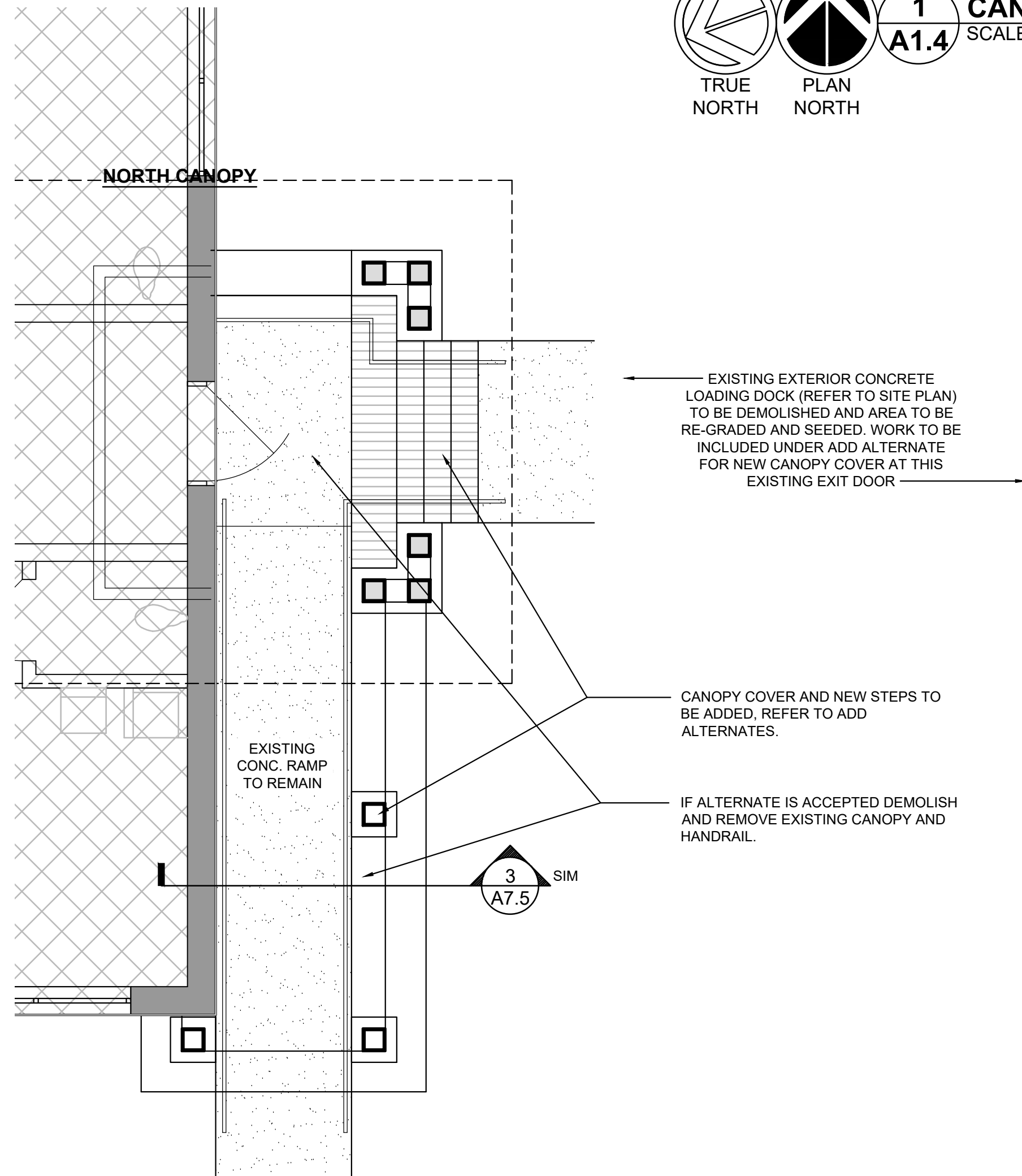


FRONT ENTRANCE CANOPY

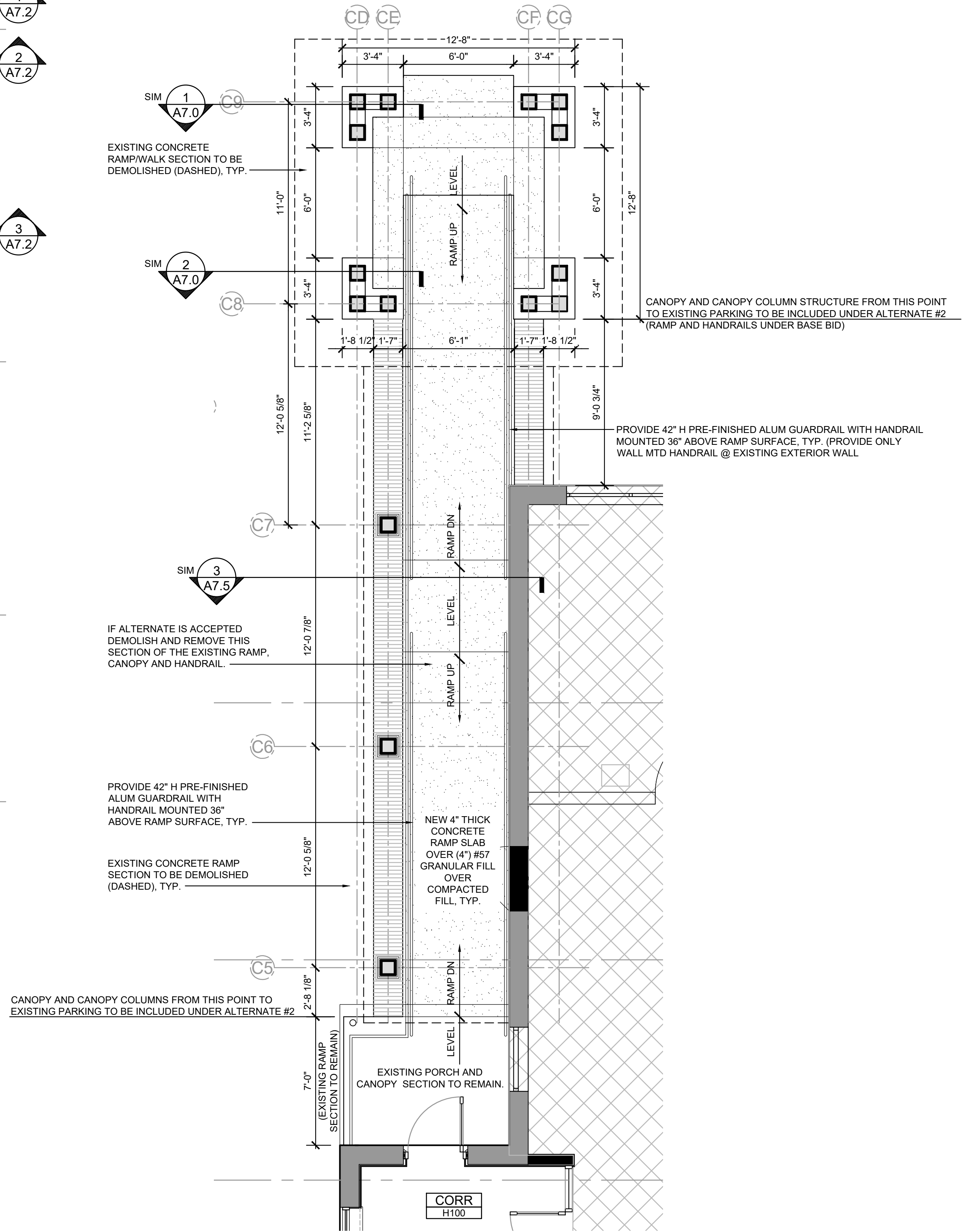
1 CANOPY PLAN - SHERIFF FRONT ENTRANCE & NORTH EXIT
SCALE: 1/4"=1'-0" (BASE BID / REFER TO SHEET A1.0 FOR GENERAL NOTES)

NOTE:
EXISTING CONCRETE AND MASONRY FRONT PORCH, STEPS, WALLS, FOUNDATIONS, CANOPY AND CANOPY STRUCTURE TO BE DEMOLISHED AND REPLACED WITH NEW PORCH AND CANOPY COVER AS INDICATED.

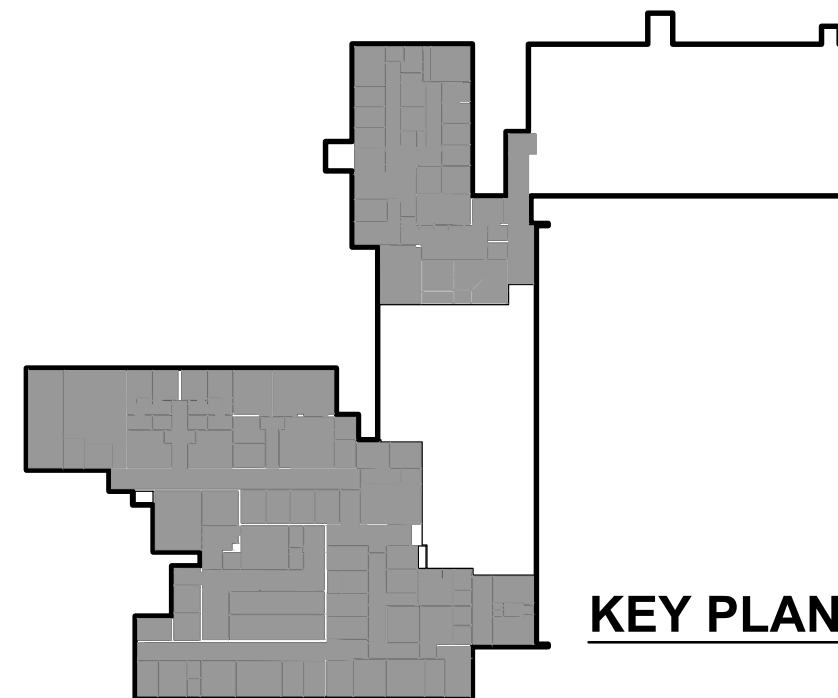
NOTE:
CONTRACTOR SHALL PROVIDE ALL STRUCTURAL SUB-STRUCTURE ROOF FRAMING, DECKING AND ACCESSORIES FOR ALL NEW CANOPY ROOF SYSTEMS WHERE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL ALSO CONTACT ALLCON ROOFING (864-552-1365 - PROJECT NUMBER C20-028) TO VERIFY AND COORDINATE ALL LABOR AND MATERIALS THEY ARE PROVIDING UNDER SEPARATE CONTRACT FOR THE CANOPY ROOF SYSTEMS. ALL CONSTRUCTION REQUIRED BELOW THE FINISHED ROOF SYSTEMS TO BE PROVIDED UNDER THIS CONTRACT.



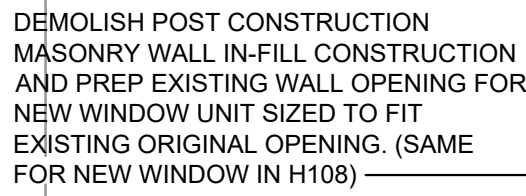
3 CANOPY PLAN - PH II DSS FUTURE
SCALE: 1/4"=1'-0" (REFER TO ADD ALTERNATE 3)



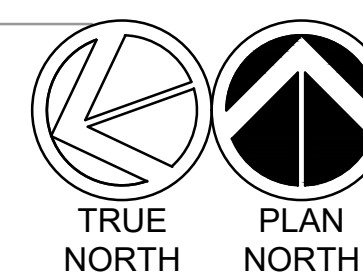
2 CANOPY PLAN - HEALTH DEPT.
SCALE: 1/4"=1'-0" (REFER TO ADD ALTERNATE 2)



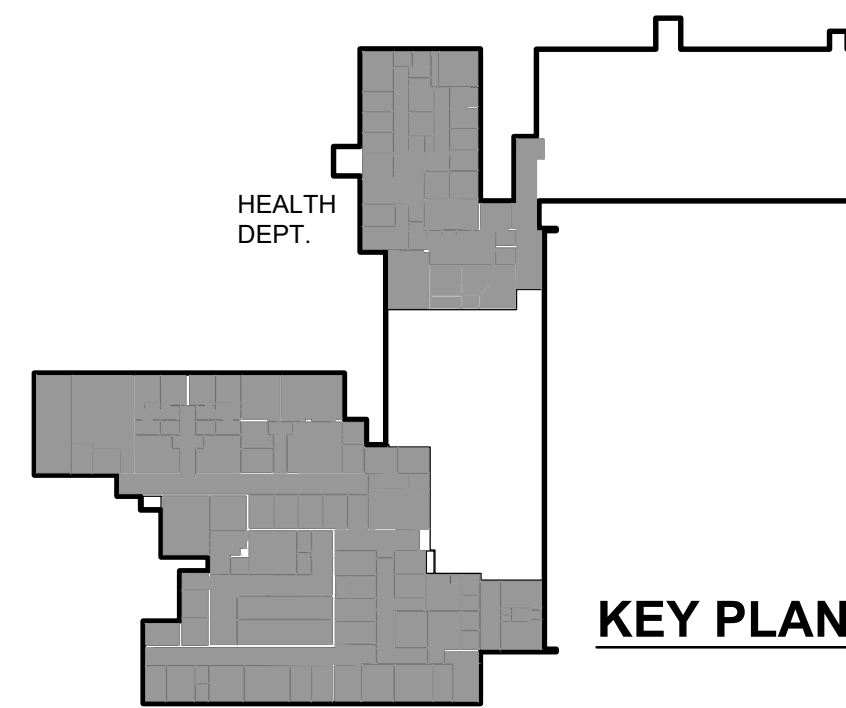
ALTERNATE #4 - HEALTH DEPT



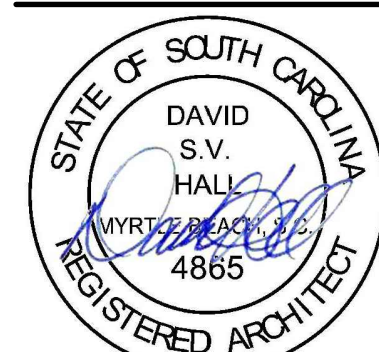
WALL LEGEND		
TYPE		DESCRIPTION
		EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4\"/>
		NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS. SEE PLAN FOR THICKNESS
		EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES. FIELD VERIFY THICKNESS
		EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB. PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED. FIELD VERIFY CONSTRUCTION
		EXISTING WALL CONSTRUCTION TO BE DEMOLISHED. FIELD VERIFY CONSTRUCTION (N/LB BRICK MASONRY AND STUDS)
		EXISTING WALL CONSTRUCTION TO REMAIN. NO WORK REQUIRED



ENLARGED FLOOR PLAN - HEALTH DEPT. /
VETERAN'S AFFAIRS - (ADD ALTERNATE #4)
 SCALE: 1/4"=1'-0" (REFER TO SHEET A1.0 FOR GENERAL NOTES)



PIKE ■ McFARLAND ■ HAL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG, SOUTH CAROLINA

FLOOR PLAN
HEALTH
VOTER ADM

CHECKED BY:

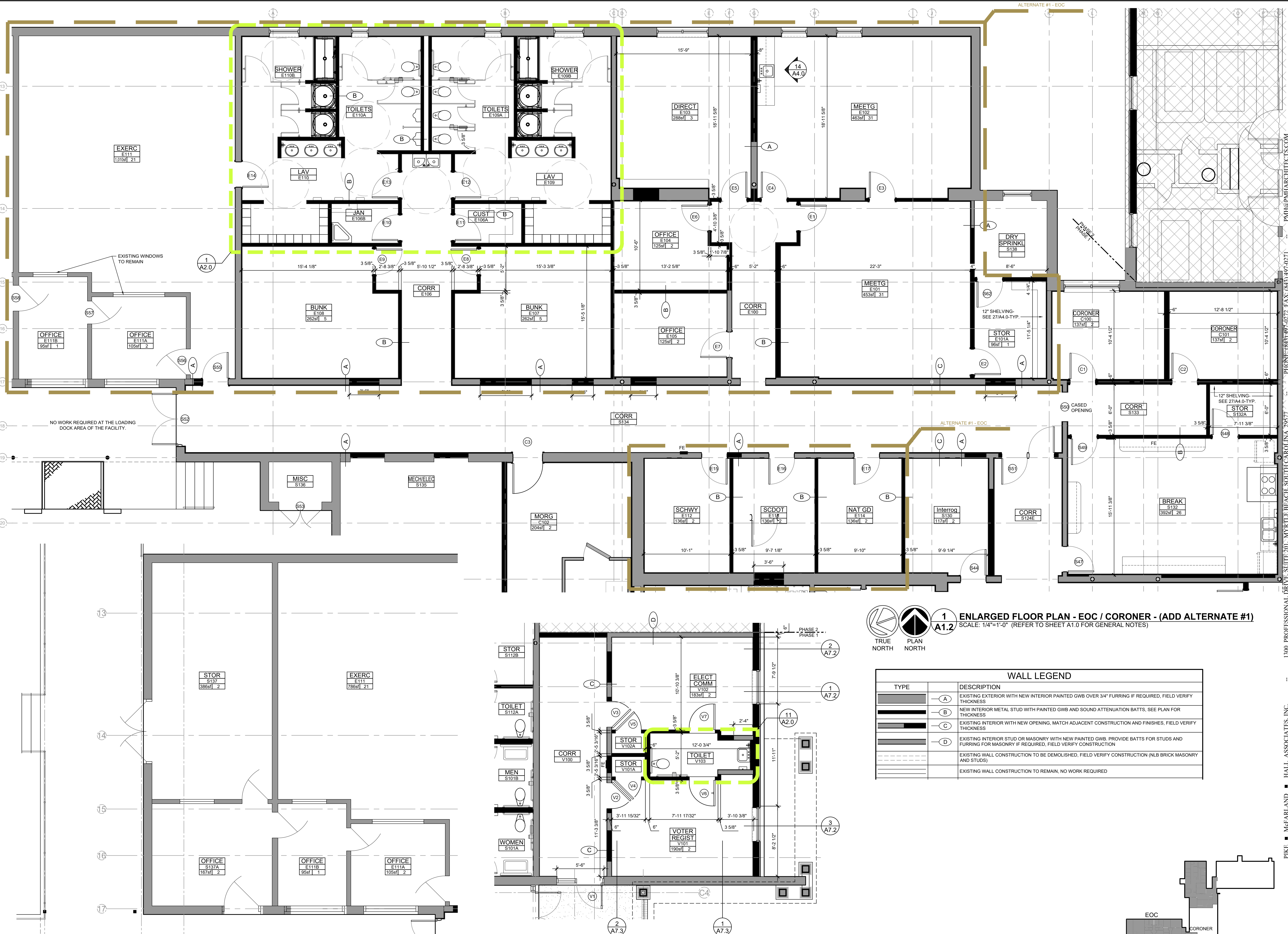
COMM: 1701
FILE: BASEPLA
DRAWN BY: xx
PLOT:
DATE: 10-14-2
REV:

SHEET

A1.3

OF XX

THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION



PMH

PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS

STATE OF SOUTH CAROLINA
PIKE ■ MCFARLAND ■ HALL
REGISTERED ARCHITECTS
97032

STATE OF SOUTH CAROLINA
DAVID S.V. HALL
REGISTERED ARCHITECT
4865

OWNER
COUNTY OF BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT
CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG, SOUTH CAROLINA

1
A1.2

ENLARGED FLOOR PLAN - EOC / CORONER - (ADD ALTERNATE #1)
SCALE: 1/4"=1'-0" (REFER TO SHEET A1.0 FOR GENERAL NOTES)

TRUE NORTH

PLAN NORTH

TYPE	DESCRIPTION
A	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY THICKNESS
B	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, SEE PLAN FOR THICKNESS
C	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY THICKNESS
D	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (NLB BRICK MASONRY AND STUDS)
	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED

2
A1.2

FLOOR PLAN - SHERIFF - EOC
SCALE: 1/4"=1'-0"

TRUE NORTH

PLAN NORTH

3
A1.2

ENLARGED FLOOR PLAN - VOTER REGISTRATION
SCALE: 1/4"=1'-0"

TRUE NORTH

PLAN NORTH

KEY PLAN

EOC
CORONER
VOTER REGIST

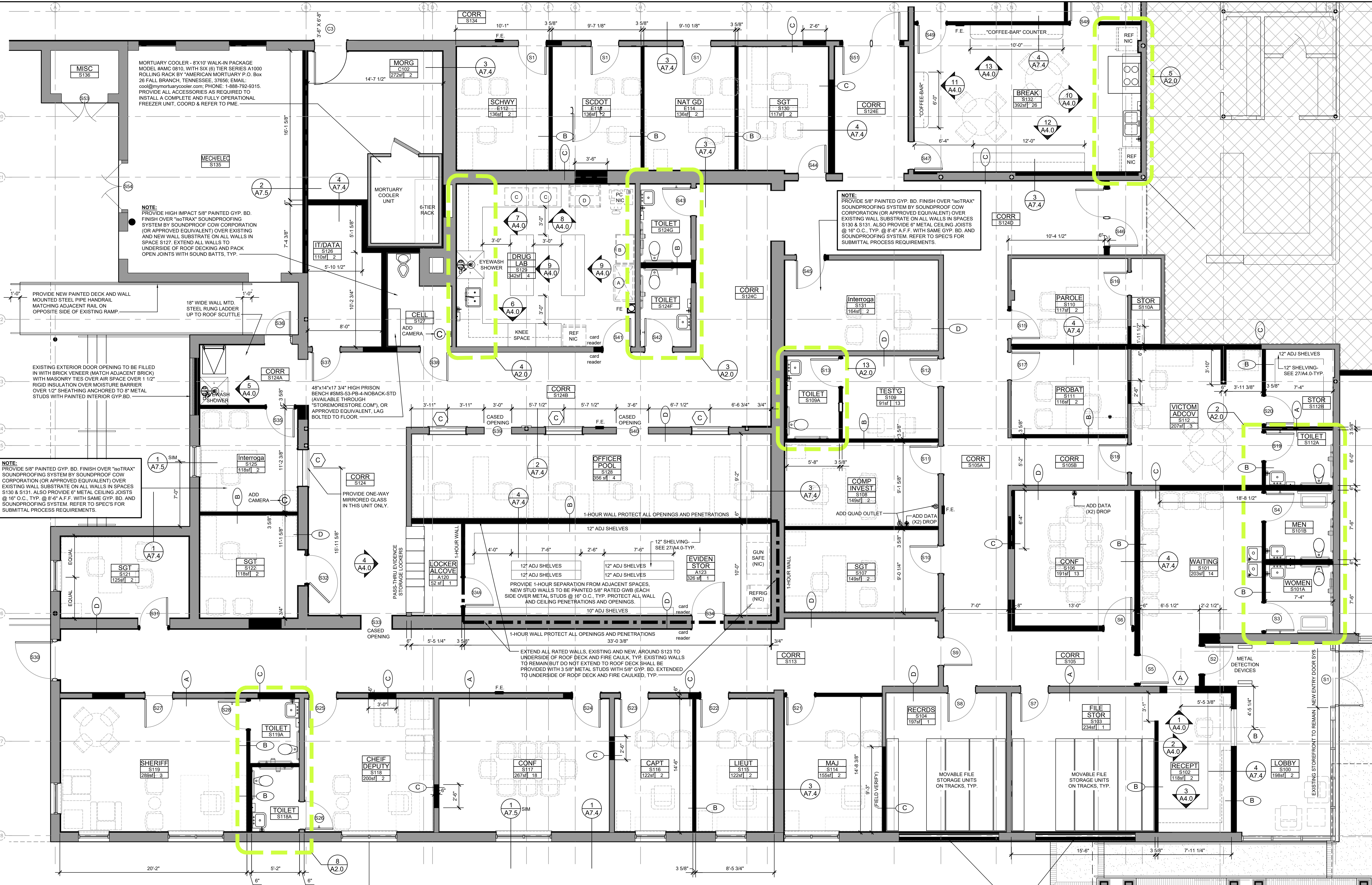
CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV:

SHEET

A1.2
OF XX

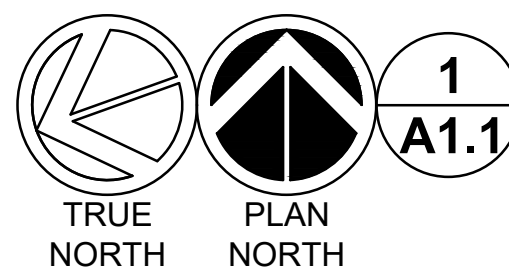
THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION



DRUG LAB (S129) EQUIPMENT LIST				
MK	DESCRIPTION	MANUF	MODEL	NOTES
A	4' FUME HOOD	FISHER AMERICAN	NLS-403	INCLUDE FLOOR-MOUNTED BASE AND ALL ACCESSORIES FOR A COMPLETE AND FULLY OPERATIONAL FUME HOOD.
B	FLAMMABLE CABINET	EAGLE	T9AB214744	43" x 18" x 69"- SELF CLOSING
C	DEVELOPMENT CONTROL CHAMBER (x2 units)	SIRCHIE	DFC200	INCLUDE ALL ACCESSORIES FOR NECESSARY FOR A FULLY OPERATIONAL UNIT.
D	DUCTLESS EVIDENCE DRYING CABINET	SIRCHIE	DRYSAFE ACEVD36A ACEVD34 DRYSAFE STARTUP KIT	INCLUDE HEPA FILTER (ACHEPA)

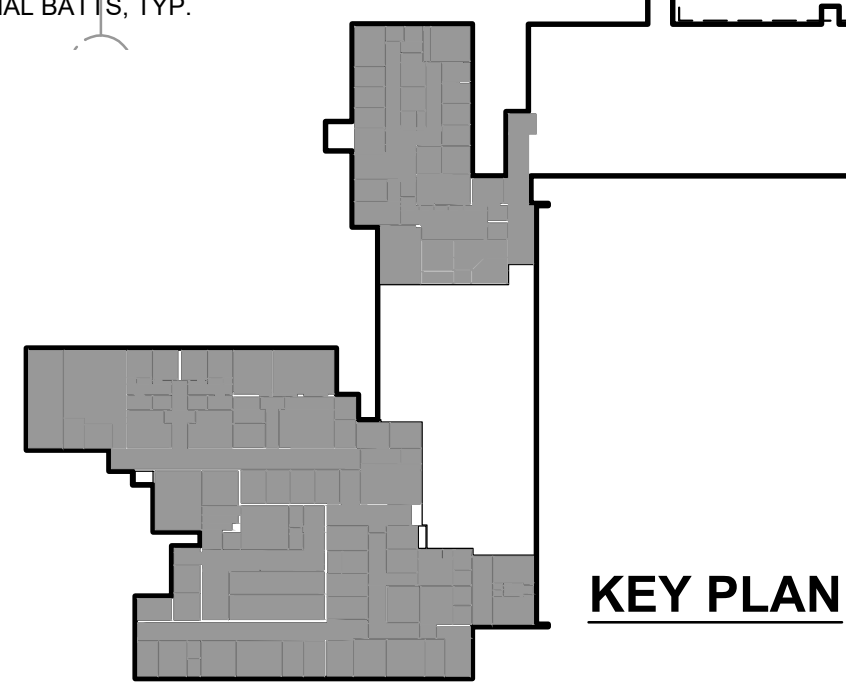
EQUIPMENT NOTES:

- PROVIDE ALL HARDWARE, ANCHORING DEVICES AND ACCESSORIES, ETC., AS REQUIRED FOR COMPLETE INSTALLATIONS AND FULLY OPERATIONAL EQUIPMENT.
- COORDINATE AND VERIFY ALL UTILITY CONNECTIONS AS REQUIRED FOR EACH COMPONENT WITH THE PLUMBING, MECHANICAL AND ELECTRICAL DOCUMENTS.
- COORDINATE LOCATIONS AND ORIENTATIONS OF EACH PIECE OF EQUIPMENT WITH MILLWORK, OTHER EQUIPMENT AND FURNISHINGS AND LAYOUT OF SPACE, FIELD VERIFY ALL CONDITIONS PRIOR TO INSTALLATION.
- REFER TO SPEC SECTION 01300 FOR SUBMITTAL PROCEDURES FOR ALL EQUIPMENT AND ACCESSORIES.

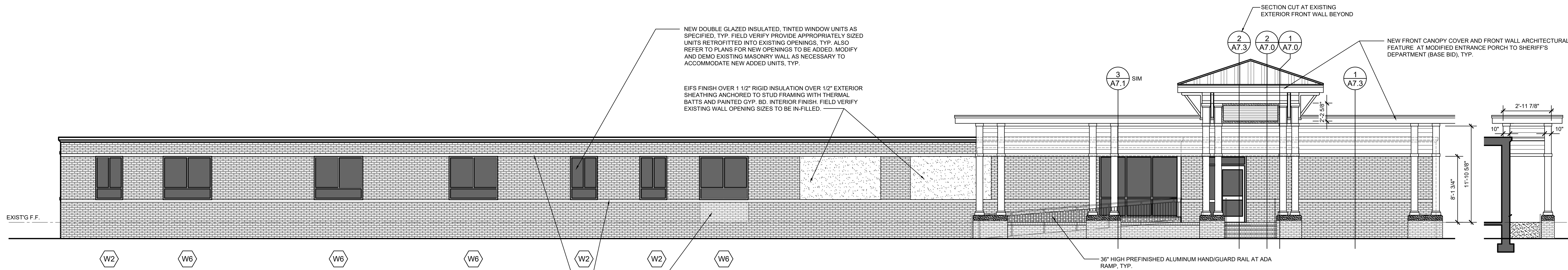


1 ENLARGED FLOOR PLAN - SHERIFF
SCALE: 1/4"=1'-0" (REFER TO SHEET A1.0 FOR GENERAL NOTES)

WALL LEGEND	
TYPE	DESCRIPTION
(A)	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY THICKNESS
(B)	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, SEE PLAN FOR THICKNESS
(C)	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY THICKNESS
(D)	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (NLB BRICK MASONRY AND STUDS)
	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED
	1-HOUR FIRE RATED WALL WITH 3/4 HOUR PROTECTED OPENINGS, FIRE CAULK ALL PENETRATIONS.

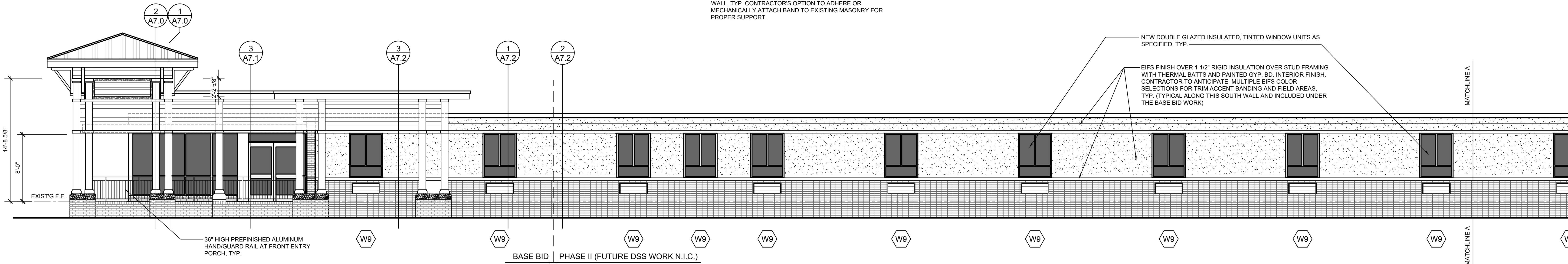


THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ McFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION

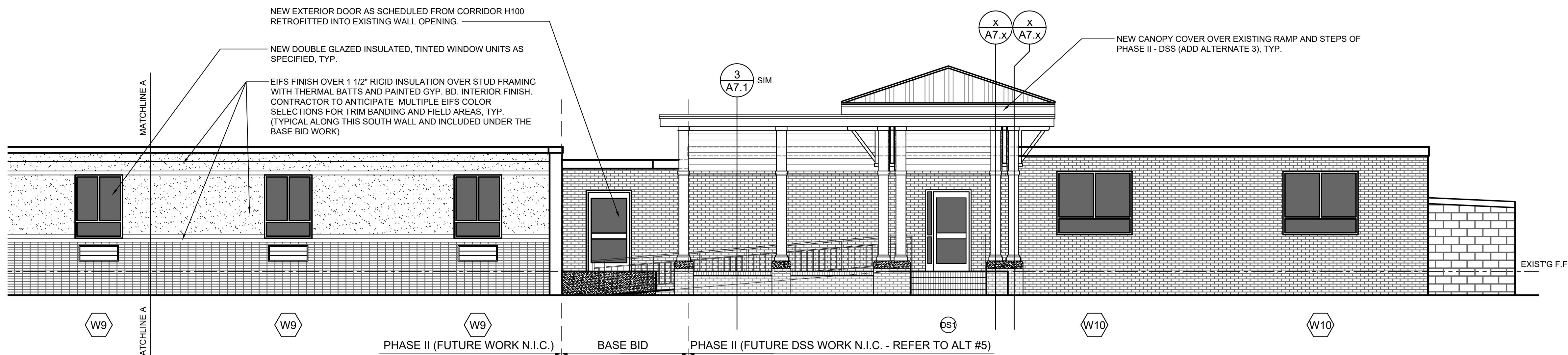


1 NORTHWEST FACING EXTERIOR BUILDING ELEVATIONS (FRONT)
A6.0 SCALE: 3/16"=1'-0"

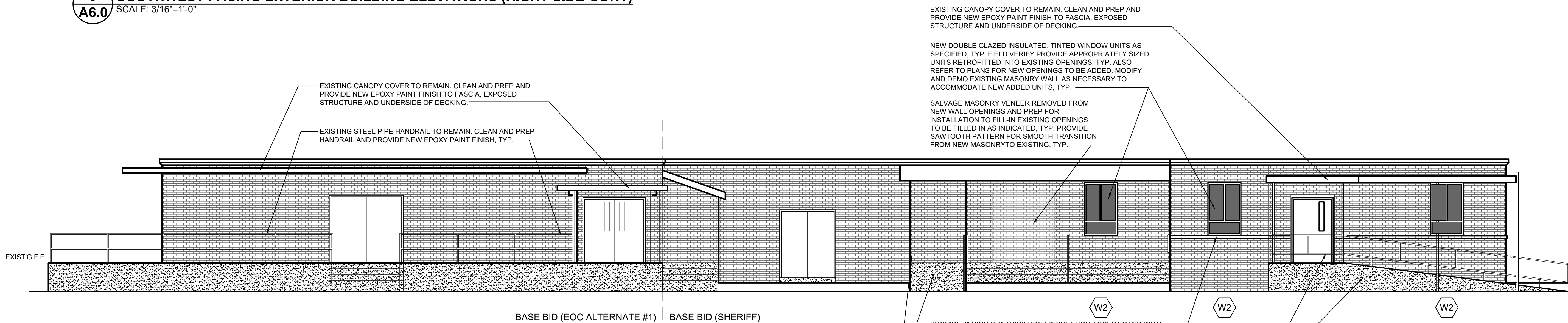
1A CANOPY END ELEV
A6.0 SCALE: 3/16"=1'-0"



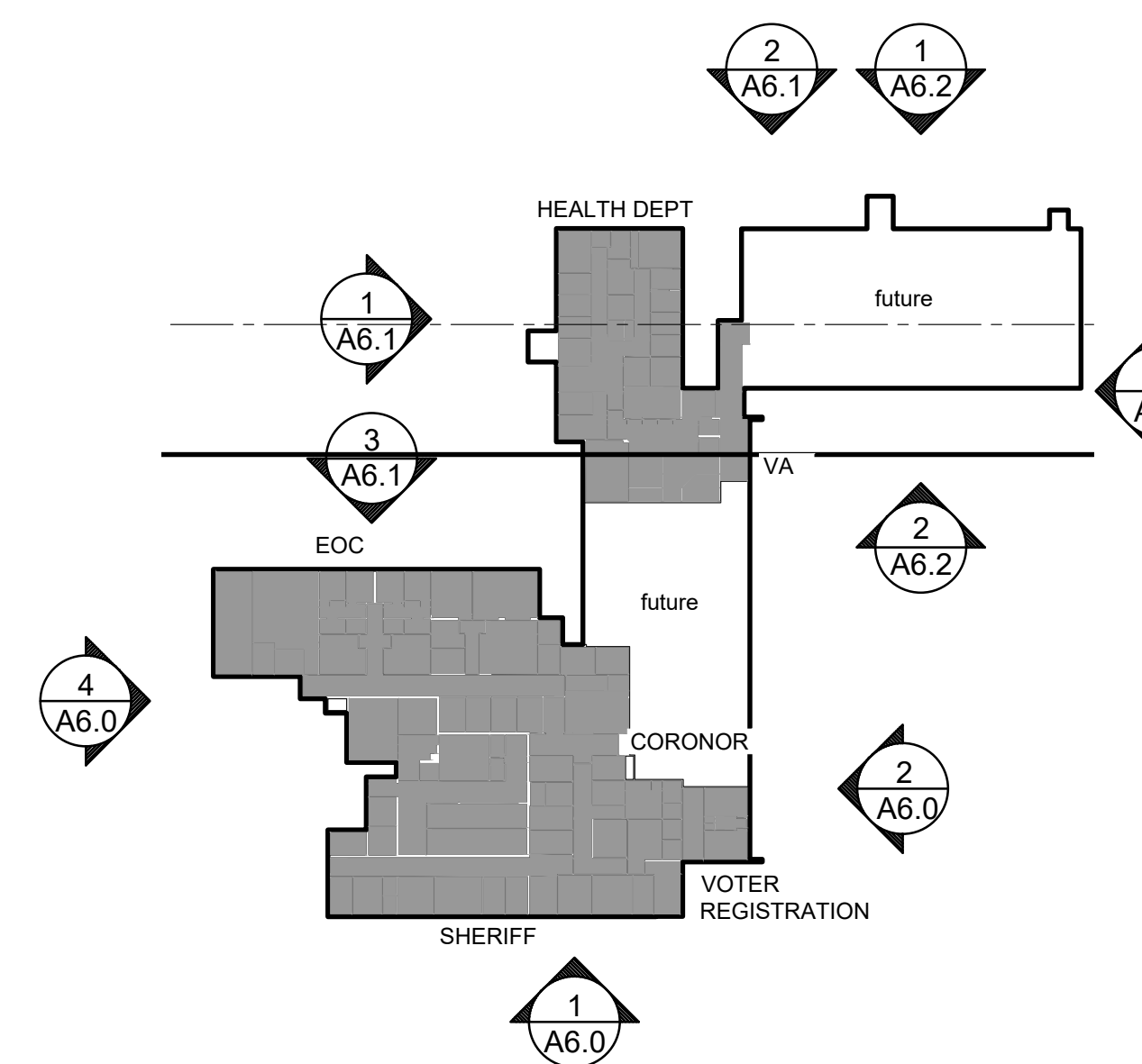
2 SOUTHWEST FACING EXTERIOR BUILDING ELEVATIONS (RIGHT SIDE)
A6.0 SCALE: 3/16"=1'-0"



3 SOUTHWEST FACING EXTERIOR BUILDING ELEVATIONS (RIGHT SIDE-CONT)
A6.0 SCALE: 3/16"=1'-0"



4 NORTHEAST FACING EXTERIOR BUILDING ELEVATIONS (LEFT SIDE)
A6.0 SCALE: 3/16"=1'-0"



PMH

PIKE ■ McFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

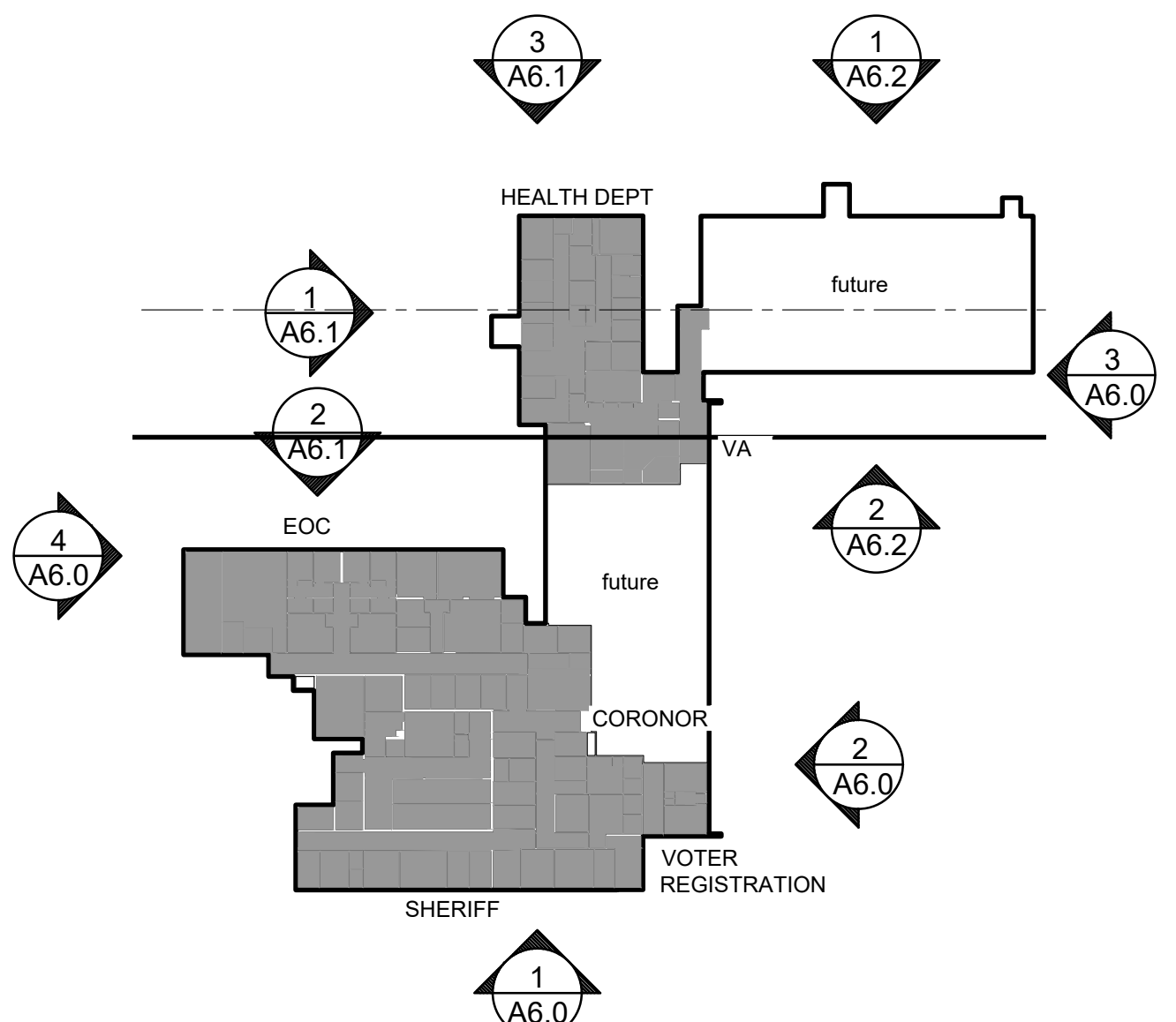
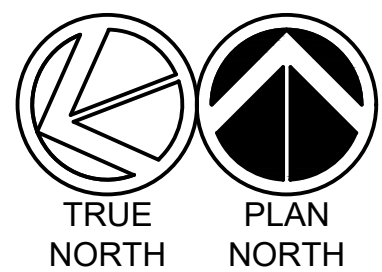
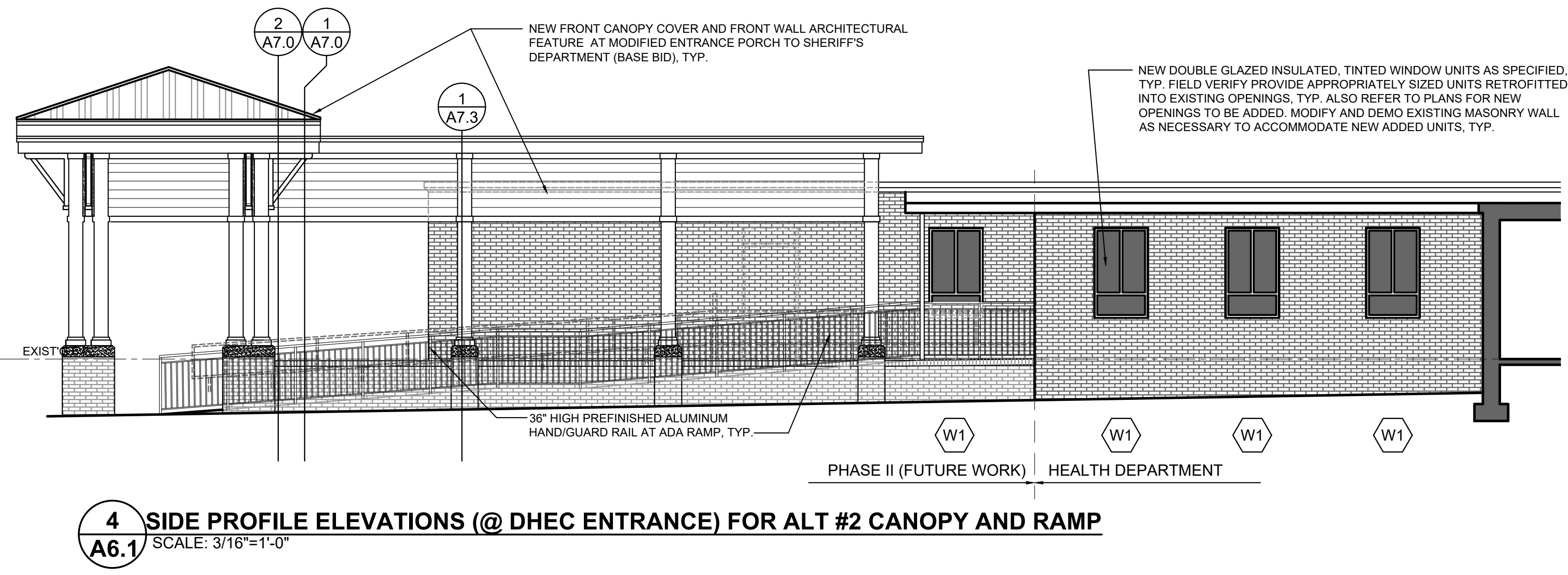
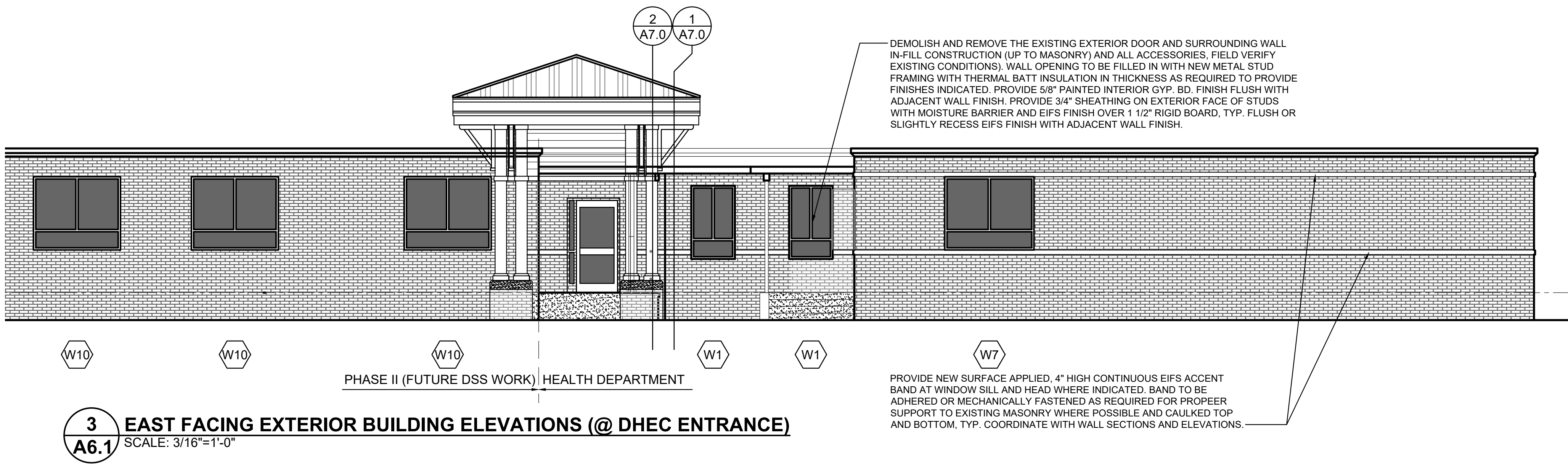
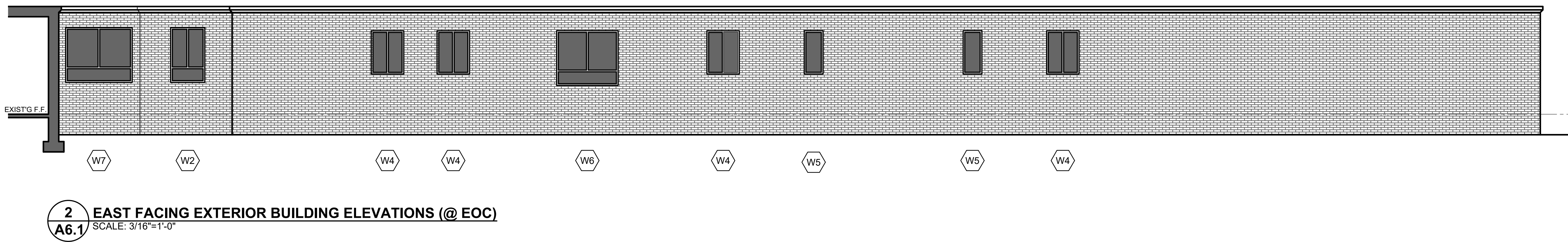
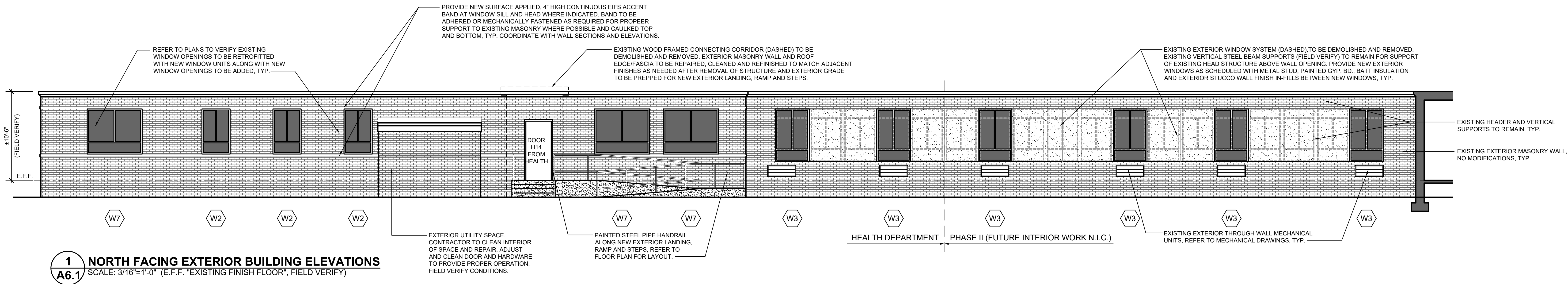
**BUILDING
EXTERIOR
ELEVATIONS**

CHECKED BY:
COMM: 17019
FILE: ELEV-SECT
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV:

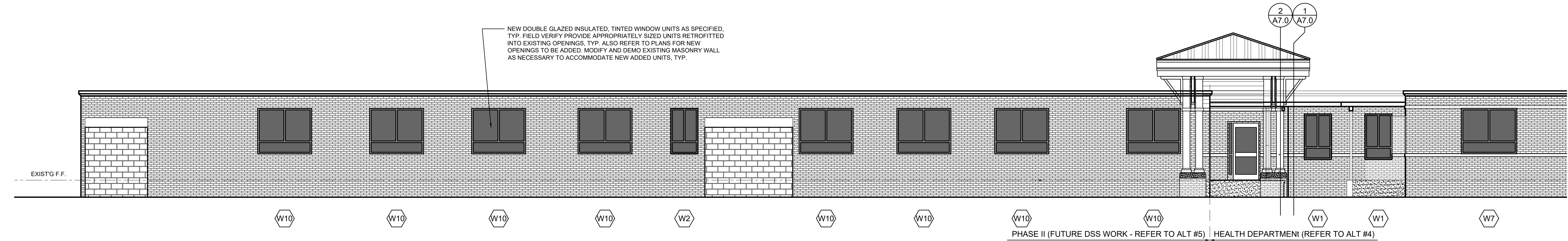
SHEET
A6.0
OF XX

PIKE ■ McFARLAND ■ HALL ASSOCIATES, INC. 1300 PROFESSIONAL DRIVE, SUITE 201, MYRTLE BEACH, SOUTH CAROLINA 29577 PHONE: (843) 497-0272 FAX: (843) 497-0271 PMH@PMHARCHITECTS.COM

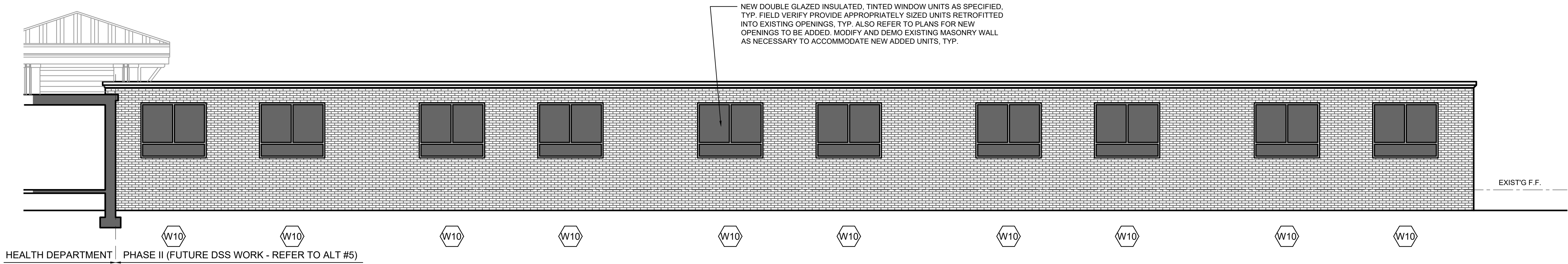
THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION



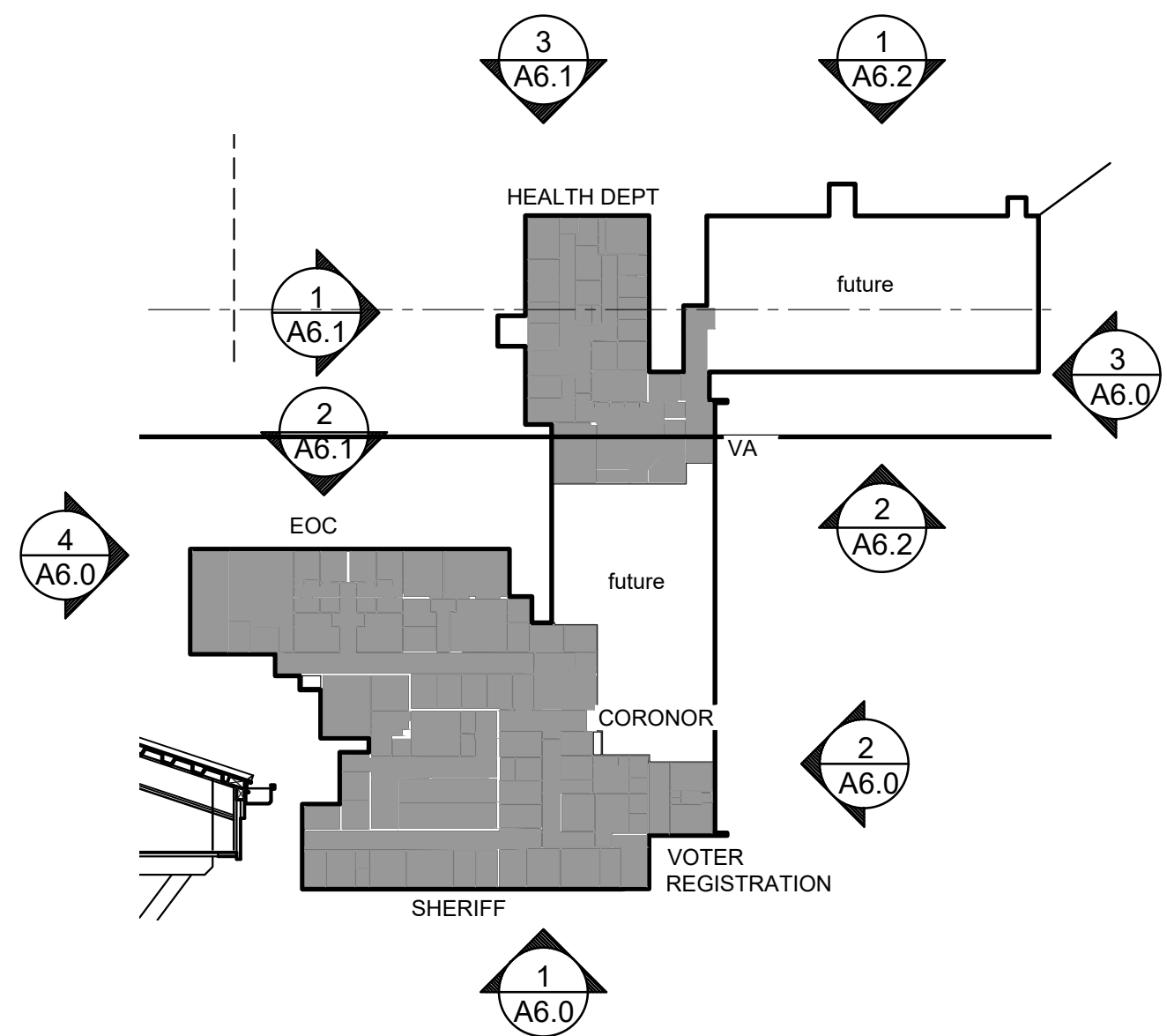
THESE DRAWINGS ARE THE PROPERTY OF PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION



1 EAST FACING EXTERIOR BUILDING ELEVATION (FUTURE PHASE II (DSS))
SCALE: 3/16"=1'-0" (REFER TO ADD ALTERNATE #5)



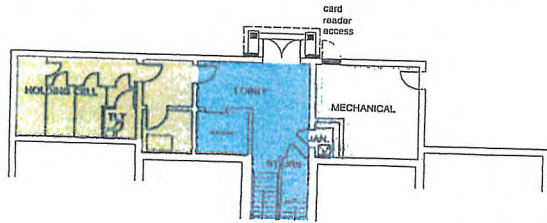
2 WEST FACING EXTERIOR BUILDING ELEVATION (FUTURE PHASE II (DSS))
SCALE: 3/16"=1'-0" (REFER TO ADD ALTERNATE #5)



	Bamberg County					
	Current Projects					
	Nov-22					
	#	Project Short Name		Cost	County Contribution	Funding Requested
	1	Hospital Repurposing Project	(Total Cost):	\$7,800,000		
	1a	DSS wing		\$2,300,000		
	1b	Voter Registration/Election Comission		\$1,000,000		
	1c	Law Enforcement Center [Morgue, EMS,Coroner,EOC]		\$1,500,000		
		Remaining Project Total		\$4,800,000	\$3,800,000	\$3,000,000
	6	Courthouse Restoration		\$10,000,000	\$7,000,000	\$3,000,000
		PROJECTS TOTAL			\$17,800,000	
		COUNTY FUNDED			\$10,800,000	
		FUNDING REQUESTED				\$6,000,000



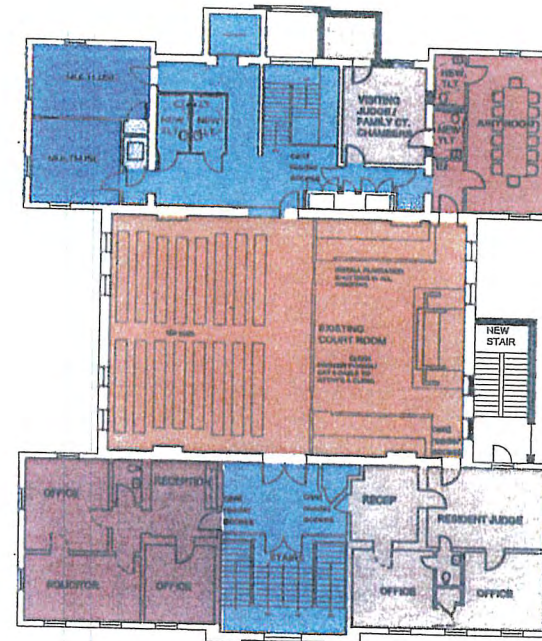




LOWER FIRST FLOOR PLAN



FIRST FLOOR PLAN- 8,556 SF



SECOND FLOOR PLAN- 7,589 SF

LEGEND

SECOND FLOOR

- COURT ROOM
- RESIDENT JUDGE
- JURY ROOM
- HOLDING CELL
- PUBLIC DEFENDER
- SOLICITOR

FIRST FLOOR

- CLERK TO COURT
- FAMILY COURT
- PROBATE JUDGE
- COMMON SPACES
- SUPPORT SPACES
- CIRCULATION

SQUARE FOOTAGE SUMMARY

FIRST FLOOR	8,556 SF
SECOND FLOOR	7,589 SF
TOTAL	16,145 SF



PROPOSED FLOOR PLAN

Capital Improvements Study for BAMBERG COUNTY:

Bamberg County Courthouse Bamberg, South Carolina

DATE: 3-17-16





PIKE ■ McFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS

OPINION OF PROBABLE COSTS
BAMBERG COUNTY COURTHOUSE

Bamberg, SC - PMH Project No. 13040

August 8, 2013 / Revised March 12, 2014 / Revised March 3, 2015 / Revised March 18, 2016 / Revised May 31, 2017 /
Revised June 21, 2017 / Revised June 27, 2017 / Revised November 20, 2017 / Revised July 8, 2020

Following is Architect's Opinion of Probable Costs based on Schematic Drawings with revision date of June 13, 2017.

SITE ELEMENTS:		\$	342,206
New Ramps for ADA Compliance - (204 SF x \$106.44/SF)	\$	21,714	
Sight lighting (16 pole site lights, 16 building lights, accent light bollards, 3 flag pole floods, 2 sign floods.)	\$	118,657	
Landscaping Allowance	\$	142,507	
Site Hardscape	\$	59,328	
Tie Roof Drains into underground storm drainage (5' outside building)		Not included	
ARCHITECTURAL INTERIOR:		\$	1,372,147
Includes modifications of restrooms for handicap accessibility, new acoustical tile ceilings, flooring, paint, millwork, etc. (16,160 SF X \$45.44/SF)	\$	734,310	
Selective Demolition (16,160 SF @ \$ 2.39/SF)	\$	38,622	
Corridor Enhancement (allowance)	\$	47,463	
Up-fit 400 SF of Attic space (including extending stair and elevator.)	\$	296,641	
Court Room Up-Fit (up-fit of Judge's bench, Juror's Boxes, carpet, moldings, chair rail, etc.)	\$	237,313	
Interior Signage	\$	17,798	
JUDGES PARKING		\$	320,965
Masonry piers, screen fence, sliding gates, etc.	\$	83,653	
New stairwell 800 SF @ \$296.64/SF	\$	237,312	
ARCHITECTURAL EXTERIOR:		\$	1,237,417
Gutter repair/replacement, re-caulking, re-painting, etc. (16,160 SF x \$9.11/SF)	\$	147,218	
Replace windows, exterior doors, etc.	\$	394,889	
New Rear entry, facade, etc.	\$	151,880	
New Front porch, columns, lighting, railings, ramp, steps, roof, etc.	\$	237,313	
New Cupola	\$	88,992	
Parapet Walls at roof	\$	17,798	
Clocks in Cupola (x2)	\$	24,325	
Stone quoins on exterior corners	\$	23,731	
Plaza front and rear (2,800 SF x \$11.86/SF)	\$	33,208	
Free standing Clock Tower	\$	59,328	
Flag Poles (x3) 40 ft tall	\$	17,798	
Exterior masonry waterproofing	\$	40,937	
ROOF SOLAR PANELS		\$	189,851
STRUCTURAL:		\$	204,407
Helical Piers:	\$	106,316	
Miscellaneous Structural: (16,160 SF x \$6.07/SF)	\$	98,091	
ROOFING:		\$	161,817
Re-Roof Low Sloped Roofs: (4,350 SF x \$30.38/SF)	\$	132,153	
(Replace insulation and install new single-ply PVC roof system.)			
Re-Roof Shingled areas (and new SF)	\$	29,664	

PLUMBING:		\$	196,970
MECHANICAL EQUIPMENT:		\$	615,116
ELECTRICAL EQUIPMENT:		\$	902,265
New Fire Alarm	\$	61,345	
New Exit & Emergency Lighting System	\$	12,222	
New Electrical Service & New Panelboards	\$	98,129	
New Receptacles, Data Outlets and Power Outlets	\$	61,345	
New Lighting & Lighting Controls	\$	73,567	
Court Room Technology (allowance)	\$	35,597	
Building Technology upgrades	\$	83,060	
Security (cameras, monitors, card access, etc.)	\$	83,060	
Contingency	\$	37,970	
Emergency Generator / Natural Gas	\$	355,970	
(Lighting, select HVAC, transfer switches, Courthouse and Court Annex, etc.)			
FIRE PROTECTION:		\$	138,828
Fire sprinkler system			
TOTAL:		\$	5,681,989
ARCHITECTURAL / ENGINEERING BASIC SERVICES:		\$	340,919
(Architectural, Structural, Plumbing, Mechanical, Electrical, Fire Protection Engineering)			
CIVIL ENGINEERING			Not included
FIXTURES, FURNISHINGS AND EQUIPMENT (FF&E)			Not included
SOFT COSTS:		\$	245,332
Reimbursable Expenses: (advertising, reproduction of plans & specifications, etc.)	\$	10,000	
Asbestos Survey (complete)	\$	7,400	
Asbestos Abatement Design and Monitoring:	\$	37,970	
Asbestos Abatement:	\$	129,098	
Evaluation of the Existing Courthouse (Assessment Report) (complete)	\$	20,100	
Preliminary Architectural Report (Grant Related Services) (complete)	\$	11,100	
Permits:	\$	29,664	
Sub-total:	\$	245,332	
Chapter 17 Special Inspections: (3/4 of 1% of construction cost = \$5,681,989 x .0075)	\$	42,615	
Contingency @ 10%: (\$5,681,989 x 10%)	\$	568,199	
SUB-TOTAL FEES / CONTINGENCY	\$	1,197,065	
GRAND TOTAL:		\$	6,879,054

NOT INCLUDED:

Tie Roof Drains into underground storm drainage (5' outside building)
 CIVIL ENGINEERING
 FIXTURES, FURNISHINGS AND EQUIPMENT (FF&E)

*Opinion of Probable Costs figures are based on the project bidding in November of 2020.

*Updated costs reflect an annual INFLATION CONTINGENCY of 5% per annum.

*Opinion of Probable Costs should be increased at 5% per annum beyond November 2020.



PIKE ■ McFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS

ASSESSMENT REPORT

BAMBERG COUNTY COURTHOUSE

Bamberg, South Carolina

July 30, 2013

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

TABLE OF CONTENTS

A. ARCHITECTURAL.....	<u>5</u>
1. EXTERIOR	
a. Exterior Walls.....	<u>5</u>
b. Windows and Doors.....	<u>5</u>
2. INTERIOR	
a. Interior Use Areas.....	<u>6</u>
b. Moisture Intrusion.....	<u>6</u>
c. Finishes.....	<u>7</u>
3. LIFE SAFETY	
a. Means and Egress.....	<u>8</u>
4. FIRE PROTECTION	
a. Automatic Fire Suppression.....	<u>9</u>
5. ELEVATORS	
a. Elevators.....	<u>9</u>
6. DISABLED ACCESSIBILITY	
a. Building Accessibility.....	<u>9</u>
b. Toilet Facilities.....	<u>10</u>
B. STRUCTURAL.....	<u>12</u>
1. STRUCTURAL	
a. Structural Report.....	<u>12</u>
C. PLUMBING.....	<u>12</u>
1. EXISTING CONDITIONS / LIFE SAFETY / CODE COMPLIANCE	
a. Existing Plumbing Systems.....	<u>13</u>
2. ENGINEERS RECOMMENDATIONS	
a. Plumbing System.....	<u>13</u>
3. PHOTOGRAPHS	
a. Plumbing System.....	<u>14</u>

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

ARCHITECTURAL ASSESSMENT

EXTERIOR

A. EXTERIOR WALLS

1. Building facades are brick masonry veneer with stucco accent panels between window units, wood trim around windows and at roof overhangs and soffits.



Rear Side



Right Side



Front Side

B. WINDOWS AND DOORS

1. Building has metal doors with wood trim installed at the main front entrance and a metal storefront system at the rear entrance.
2. Building has insulated, single hung aluminum windows.

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina



Thru-wall Mechanical unit

C. FINISHES

1. Facility has two levels with a 3rd lower floor half flight below the main floor.
2. Interior wall finishes appear to be a combination of painted gypsum board, stucco over lath and exposed masonry with wood wainscot in the main courtroom and other miscellaneous spaces throughout. Resident Judge's suite has full height wood wall paneling.
3. Interior ceilings are a combination of suspended ceiling grid systems and painted gypsum board soffits.
4. Interior floors are a combination of carpet, resilient flooring, ceramic tiles, wood and bare concrete.
5. Interior doors are a combination of metal and wood door panels in wood and metal frames.
6. Proposed renovations would include replacement of all exterior windows and some interior doors, new floor and wall paint finishes throughout with new suspended ceiling systems. Renovations would also include some demolition to install new passage openings through existing walls and relocation of walls to accommodate ADA accessible toilet spaces.



Lower Stairs to Main Floor



View towards rear lower level



1st Floor Corridor towards rear

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina



Rear stairs from 2nd level

FIRE PROTECTION

A. AUTOMATIC FIRE SUPPRESSION

1. An automatic fire sprinkler suppression system was not observed in the building.
2. Fire extinguishers were observed throughout the building.

ELEVATORS

A. ELEVATORS

1. An elevator is accessible from the rear entrance/exit and provides access to all floor levels to the rear side of the building behind the main courtroom. Elevator access to the second level front spaces are only accessible through the second level main courtroom space.



Rear elevator @ lower level



Rear elevator @ 2nd level

DISABLED ACCESSIBILITY

A. BUILDING ACCESSIBILITY

1. The main front building entrance/exit is only accessible by exterior steps to an elevated exterior stoop at the front doors. Once inside the front doors additional interior steps give access to the building's main floor with additional interior stairs to the second level.
2. The building's rear entrance/exit is accessible from grade with interior stairs up to the main and second floor levels. Also a rear elevator gives access to all floors in the rear of the building but access to the elevator from the second level spaces at the front of the building is only possible through the second level main courtroom space.
3. Proposed renovations would include adding an exterior ADA ramp to access the front doors at the front exterior stoop. A new interior lift accessible from the front doors will

1300 Professional Drive, Suite 201, Myrtle Beach, South Carolina 29577
(843) 497-0272 • Fax: (843) 497-0271 • Email: pmh@pmharchitects.com

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina



Auditor's Toilet



Holding Toilet

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

PLUMBING ASSESSMENT

EXISTING CONDITIONS / LIFE SAFETY / CODE COMPLIANCE

A. EXISTING PLUMBING SYSTEMS

1. There are several locations of toilets on each floor of the courthouse. Toilet fixtures appear to be in reasonable condition and are functional however they do not meet current IPC (International Plumbing Code) requirements regarding fixture type and are non-compliant for ADA accessibility.
2. Lavatories have cold water supply only and do not meet current IPC requirements for delivery of hot water. Lavatory fixtures appear to be in reasonable condition and are functional however they do not meet current IPC requirements regarding hot water supply and are non-compliant for ADA accessibility.
3. There is one janitor sink with cold water supply only located on the first floor. Current IPC requires a janitor sink to be located on both floors and to have hot water supply.
4. There is one electric water cooler located on each floor. Existing water coolers are ADA compliant. Fixtures appear to be in satisfactory condition.
5. The existing waste and vent piping systems are cast iron and galvanized steel. Exterior building sewer service line appears to have been upgraded and/or replaced at some time in the past due to the existing PVC cleanouts to grade observed.
6. The existing water piping system may be a combination of galvanized steel and copper pipe. *This is based on the age of the building and the fact that all water piping could not be observed during building review.*
7. There is some evidence of pipe insulation on portions of the copper water piping located in the crawlspace area of the building. The insulation is in poor condition and is falling off the pipe in several locations. Insulation does not meet current IPC or energy code.
8. The existing water meter and domestic water service to the building is inadequate and is not sized according to code. Water service line to the building did not appear to have a backflow prevention device installed which is normally located downstream of the water meter. Backflow preventer is required to protect the city water supply from potential contamination.
9. The building has exterior gutters and downspouts. The exterior downspouts are copper and are connected to exterior underground storm drainage piping systems. Downspouts appear to be in good condition. It shall be noted that there is evidence of leaks and possible problems at eaves and gutter connections and/or at downspout collector boxes.
10. There are several exterior hosebibbs (wall hydrants) located on the building. These hydrants do not have backflow prevention devices that are required by current IPC.
11. Attic access was limited. As a result, complete Engineer review of the existing mechanical and plumbing systems located in the attic spaces was not possible.

ENGINEER RECOMMENDATIONS

A. PLUMBING SYSTEMS

1. Replace entire plumbing systems for the building.
2. Replace domestic water service line. This includes the water meter, tap and service line size to meet demands for new plumbing systems. Add backflow prevention device at new water meter and tap.
3. Provide domestic hot water for all plumbing fixtures. Domestic hot water heaters shall be tank type electric storage units furnished complete with digital controls,

1300 Professional Drive, Suite 201, Myrtle Beach, South Carolina 29577
(843) 497-0272 • Fax: (843) 497-0271 • Email: pmh@pmharchitects.com

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina



Existing electric water cooler on 2nd floor



Existing individual toilet on 2nd floor.

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

approximately 15-20 years. The condition of the existing system is normal for a system of this type and age.

- Replace failing split system heat pumps units with new split system heat pumps. Incorporate sufficient thermal zoning for proper space temperature control including additional units where needed such as conference rooms and data rooms.
- The existing through wall packaged terminal heat pump is a de-centralized system which offers individual room control. The through wall concept provide ease of repair or replacement. Other systems capable of providing the same individual room control will be costly and require extensive modification to the electrical system. It is recommended the existing units remain in service. The through wall packaged terminal heat pumps appear to be varying in age as some units are recently replaced and some appear older. An audit to determine age and remaining life of each unit will determine replacement quantities.
- Replace existing 30 year old duct systems for each split system heat pump with new duct systems for each zone.
- Remove existing boiler and steam distribution systems.
- Replace or add exhaust fans in toilet areas adequately sized to remove odors. Connect to energy management system to control energy costs.
- Provide minimum fresh air per ASHRAE 62.
- The entire building HVAC system should be controlled from an energy management system to monitor the building heating and cooling requirements to control energy costs.



Older Through Wall Unit



Newer Through Wall Unit



Newer Through Wall Unit



Exterior Through Wall Unit Louver

ELECTRICAL ASSESSMENT

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

PRIORITY THREE, LIGHTING, LIGHTING CONTROLS, RECEPTACLES, DATA:

Estimated Construction Cost: \$40,400.00 New Receptacles, Data Outlets, & Power *
 \$48,480.00 New Lighting and Lighting Controls

* Estimate only includes outlet boxes and pathway for data.

Many of the existing duplex receptacles in the original building appear to be 2 wire, 15A receptacles without a separate ground wire. These should be replaced with properly grounded receptacles and wiring. The newer duplex receptacles in the additions are 3 wire receptacles. The number and location of existing receptacles is inadequate for the needs of the client. Additional receptacles are recommended to reduce the use of power strips and extension cords. New HVAC Systems and new water heaters will require new power.



Receptacle without Ground Wire



Receptacle in Addition

Existing wiring and/or conduit run in the Basement/Crawl Space consist of a mish-mash of EMT conduit, PVC conduit, Type MC Cable, Romex Cable, and Cat3/Cat5 cable. Much of the conduit and cable is improperly supported. A number of open junction boxes were observed in this space. Rewiring the building is recommended.

The existing lighting consists primarily of older T12 fluorescent fixtures, many in poor condition. New T8 fluorescent and/or LED lighting is recommended and will provide a short ROI due to energy savings. The existing lights are a mixture of recessed fluorescent and surface mounted fixtures. A mixture of different lamp colors was observed. Lamps should be one standard color throughout the building.



Romex and Other Cables
in Crawl Space



Romex and Other Cables
in Crawl Space



T12 Wraparound



T12 Strip Light

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

FIRE PROTECTION ASSESSMENT

Existing Conditions / Life Safety / Code Compliance

FIRE PROTECTION

- A. There is not an existing sprinkler system for fire protection of the building. The existing building is predominately wood frame construction. (See Architectural report for any details regarding building construction.)
- B. The location of the existing fire hydrant is to the left of the front of the courthouse on the adjacent corner.

Engineer Recommendations

FIRE PROTECTION

- A. Provide sprinkler coverage for the entire building in accordance with current NFPA 13 standards to protect all areas of construction. This will require a combination of two types of sprinkler systems. A dry-pipe system will be provided for the unheated attic and crawlspace areas and a wet-pipe system for all heated areas of the building. *(A current fire flow test will be required for the design of the building fire sprinkler systems.)*
- B. Provide a new fire hydrant at the sprinkler service tap location and locate fire department connection within one hundred feet of the hydrant to meet current NFPA 13 and 24 standards.

PHOTOGRAPHS - FIRE PROTECTION NEEDS



File storage on 1st floor is a fire hazard.



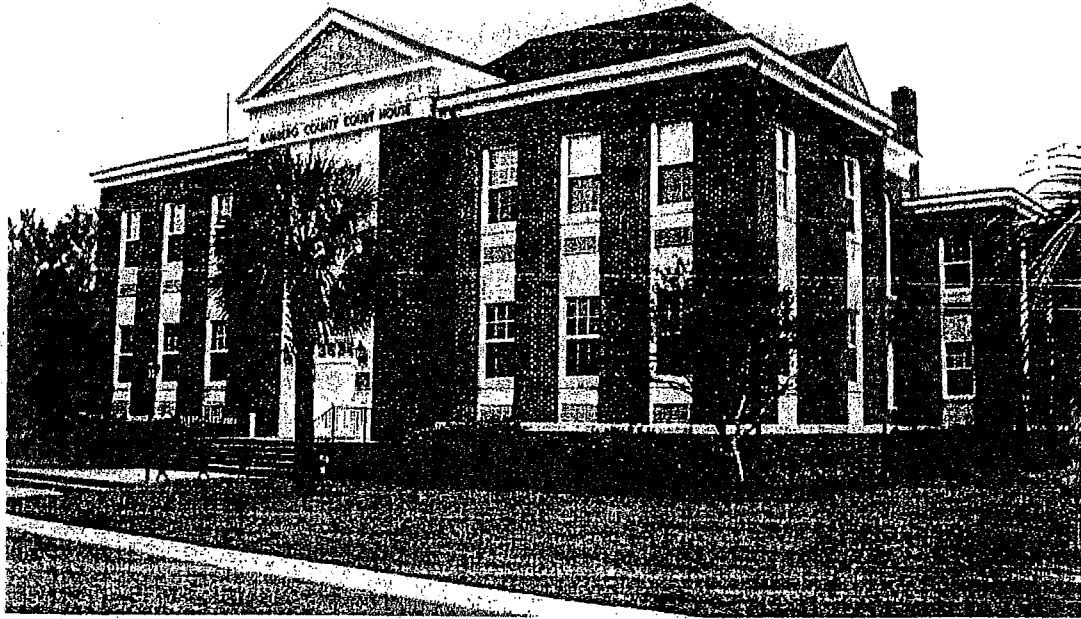
Combustible construction in crawlspace.



Combustible construction in attic areas



Combustible construction in attic areas.



BAMBERG COUNTY COURTHOUSE STRUCTURAL ASSESSMENT

4

be of solid brick construction. No cmu construction was observed in the crawl space, even in the 1960 additions. At the interior of the building, walls generally were clad in various forms of interior finish, so the structural wall construction could not be observed. In the rear portion of the building built at grade level, some cmu wall construction was observed. Based on all of this and on our knowledge of the likely construction materials in use during the construction of the original building (1895-1900) and during the construction of the addition (1960), our conclusion is that the likely construction of the walls of the original building is solid brick of varying thickness and the likely construction of the walls of the 1960 addition above the first floor is cmu and brick veneer. The solid brick walls of the original brick building are almost assuredly unreinforced and the cmu structural walls of the 1960 addition are very likely unreinforced, also.

3. The observed first floor framing as seen from the crawl space varied from concrete floors to timber joists and decking. See drawing S3 in the appendix for framing layout and reference photos showing framing and general construction. None of the framing was observed to be physically attached to the walls.
 - a. In the original courthouse, most of the first floor construction consisted of wood joists and decking. The joists appeared to be 2 ½ x 14 members at about 18 inches on center spanning from wall to wall. The joists were set in pockets in the wall. All observed framing looked to be in good condition. (See Photo P26.)
 - b. In the original courthouse, the framing under the records rooms appeared to consist of steel beams at about 4 ft on center spanning wall to wall with arched concrete slabs between. Some rust was observed on the steel beams, but it did not appear that there was enough to be of concern. (See Photos P28 and P29.)
 - c. In certain areas of the original building below vaults, concrete slabs appeared to have been added. (See Photo P27.)
 - d. In the area of the 1960 addition that has a crawl space, the framing consists of W14 steel beams at mid-span of the spaces with 2 x 12 joists at about 18 inches on center framing between the beams and the foundation walls. All observed framing and steel beams appeared to be in good condition. (See Photos P31 and P32.)
 - e. The area of the 1960's addition that was built at grade is assumed to have a slab on grade first floor.
4. The second floor framing was, as we understand it, inaccessible, due to the fact that a hard ceiling exists throughout with no significant accessible areas. It is likely that the second floor framing consists of wood framing with decking or plywood throughout. It is also likely that the second floor framing is not attached to the structural walls, much like what was observed in the crawl space.
5. The roof framing was observed in the area adjacent to and above the courtroom. See drawing S4 in the appendix for framing layout and reference photos showing framing and general construction.
 - a. In the rear portion of the roof of the original building, rafters, hip beams and decking were observed. (See Photos P39 and P40.) Some modifications had been made to provide for the rear dormer construction. (See Photo P38.) In addition, support posts appeared to have been added under the ends of the hip beams. These support posts were seen to be skewed and looked to be potentially undersized. (See Photos P41 and P42.)

in two directions that the exterior window cracks noted above (See Photos P11 and P12.) showed.

3. Other photos in the right rear corner (P4 and P5 at the second floor and P16 – P19 at the first floor) show the cracking that is occurring at the joints between the original and newer buildings along the wall's entire height.
4. Similar, cracking is seen photos P7 to P10 at the second floor and P13 at the first floor in the right front corner of the building.
5. At front left corner, the upper floor walls were mostly paneled...so cracks did not show through. At the first floor cracks at the joint between the original and newer building were observed as seen in Photos P14 and P15.
6. Similarly, at the left rear corner, the only cracks observed were at the first floor...again at the joint between the original and newer buildings, as seen in photos P20 and P21.

Crawl Space Observations

1. Due to the fact that the majority of the observed cracking was on the right side of the building (from the rear), the crawl space inspection concentrated on the right side area.
2. The joints between the original courthouse foundation wall and the 1960 addition foundation wall was observed to be separating and somewhat rotating (smaller at the bottom of the foundation wall and larger at the top of the foundation wall) at two locations located on sheet S3 in the appendix. These locations correspond to some of the more severe cracking observed in the upper floors. See Photos P33 to P35 for one location showing the crack as it goes up the wall and Photos P36 and P37 for the other location showing the crack as it goes up the wall.
3. Some areas were also observed in the crawl space where plumbing lines had been installed below grade and the sub-grade had not been filled back in around the lines. This was felt to not necessarily be the source of any settlement problems, but was significant enough to note for consideration.

Structural Assessment

In general, the building looked to be in good condition structurally. The framing looked to be non-deteriorated, in generally good condition, and appeared to be performing well without noticeable movement or sagging. There were very few cracks in the exterior walls...the only ones observed were in the rear right corner of the building. The foundation walls looked to be sound, with only observed cracks at some of the joints between the original courthouse and the 1960's addition. Except for the settlement cracks noted earlier, the interior walls also appeared to be generally sound. Hairline cracks in the some of the walls throughout the building did not appear to be significantly structural in nature.

The observed cracks at the foundation wall locations, at the walls at the upper floors, and at the exterior in a couple of locations all appeared to be due to settlement of the four corners of the 1960's addition away from the original courthouse building. It appeared that the right rear corner was experiencing the most settlement and cracking, followed by the right front corner. The left front and rear corners looked to be settling also, but possibly not to the extent of the other two corners.

That being said, there are things that could be done during a building renovation that could increase the building's lateral load capacity. Some of these things include attaching the floor and roof diaphragms to the load bearing and shear walls, increasing the diaphragm capacities, and possibly strengthening shear walls where feasible. Of course all of that would depend on how much of the building structure is exposed during the renovation and what kind of modifications that could be done without great expense. Our recommendation would be that if there are architectural renovations planned for this building, that efforts be made to include items, as discussed, that would increase the buildings lateral load capacity and performance.

Bill Ussery, PE
4SE

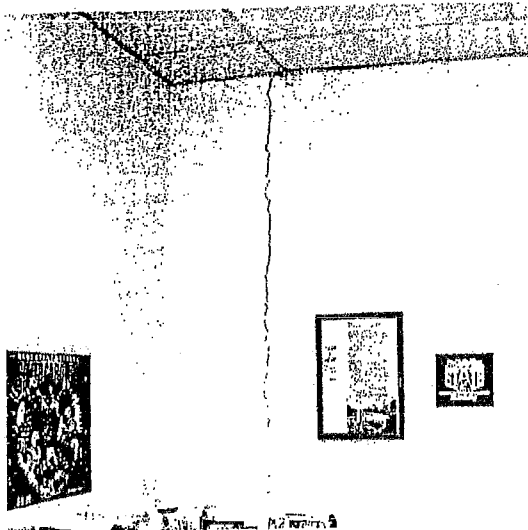


PHOTO P1

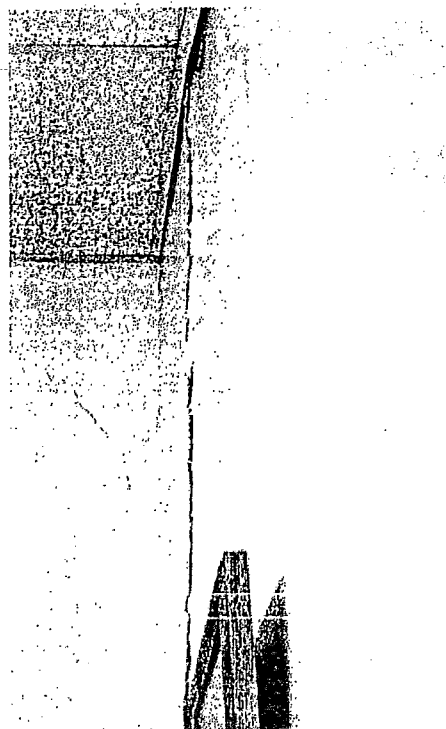


PHOTO P2

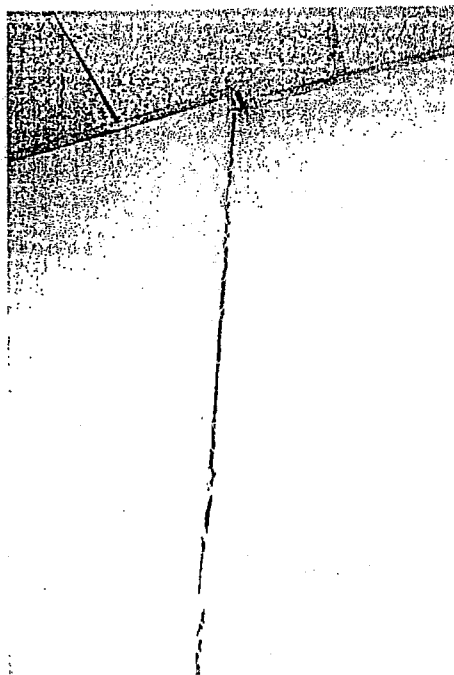


PHOTO P3

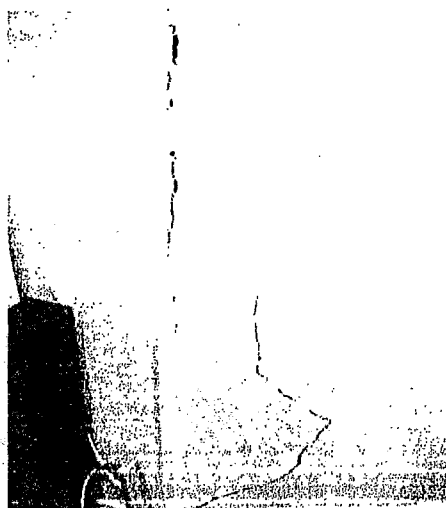


PHOTO P4

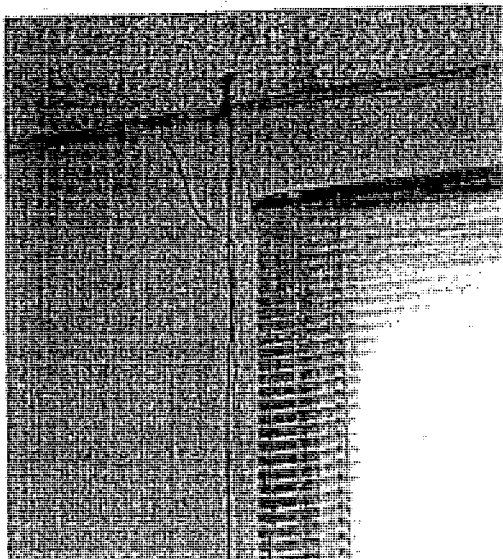


PHOTO 9

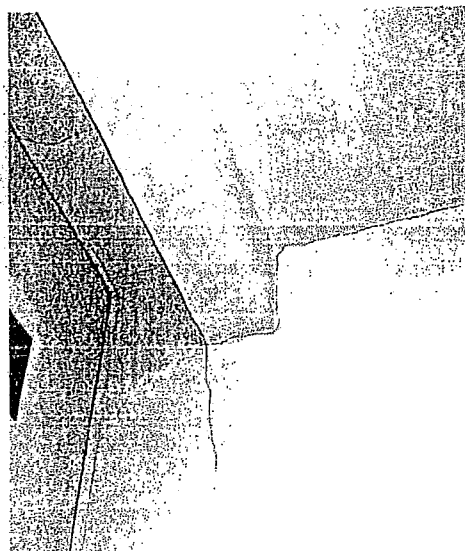


PHOTO P10

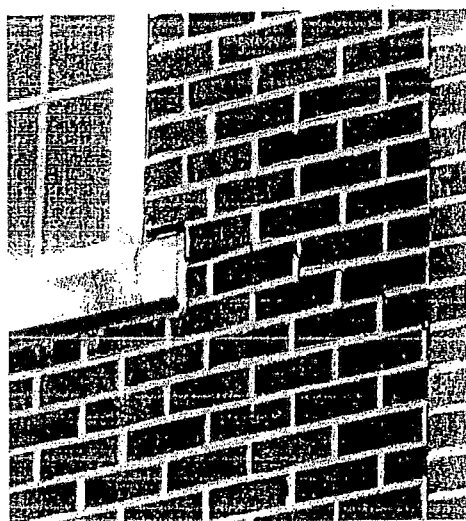


PHOTO P11



PHOTO P12

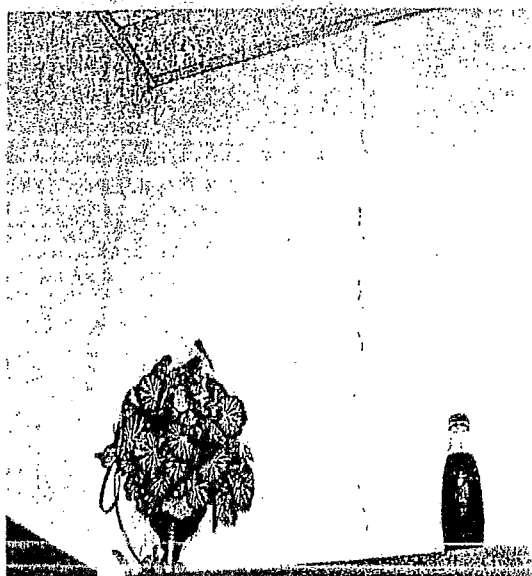


PHOTO P17

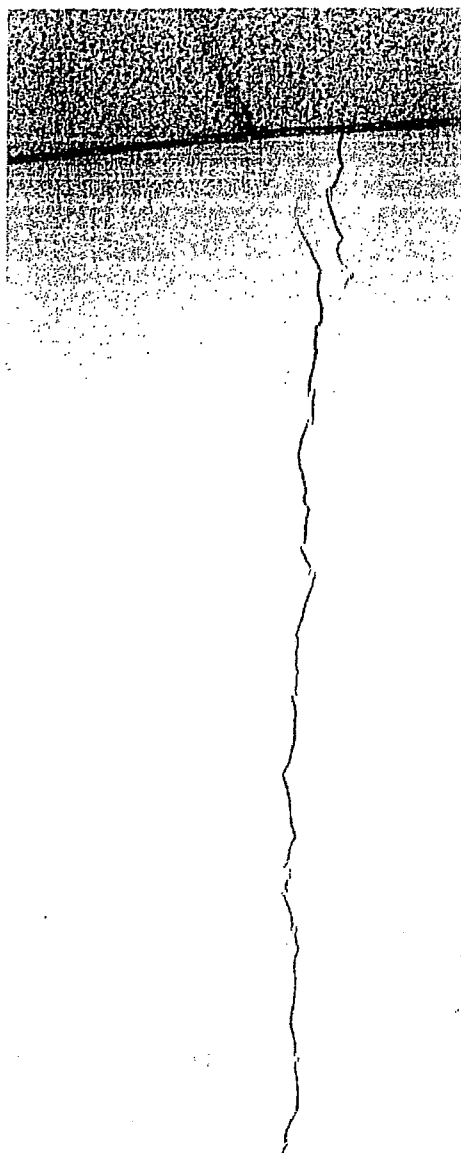


PHOTO P18



PHOTO P19



PHOTO P24

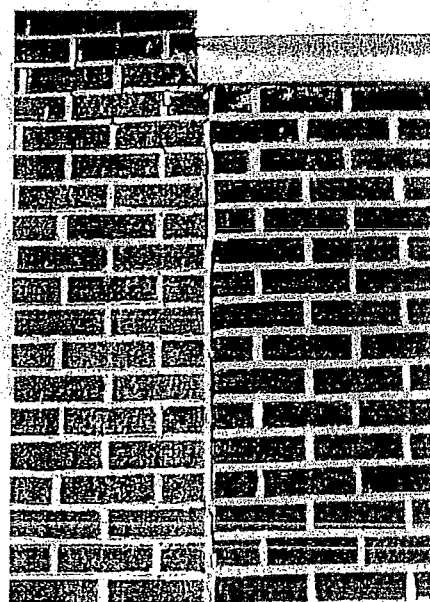


PHOTO P25

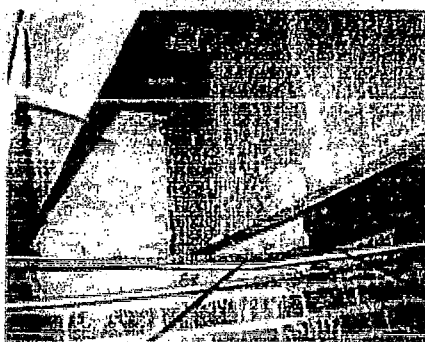


PHOTO P26



PHOTO P27



PHOTO P36 - P37

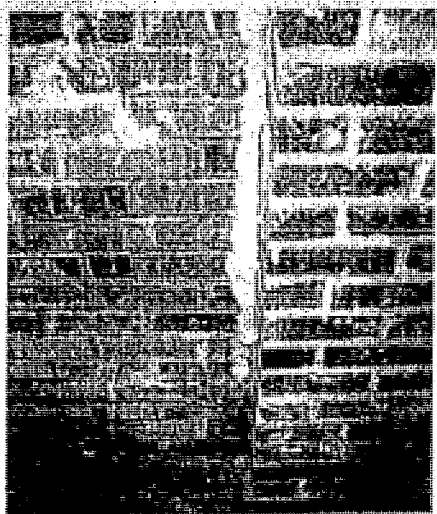
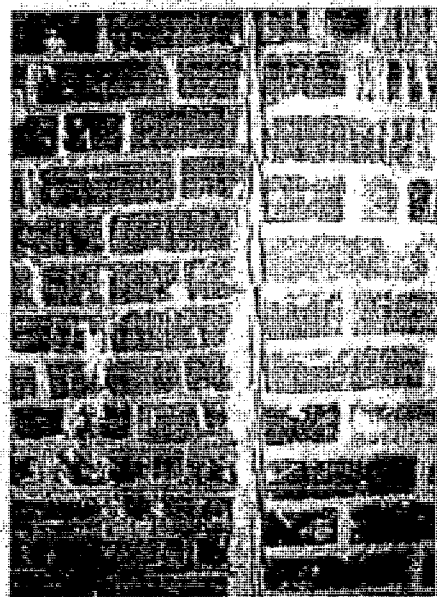
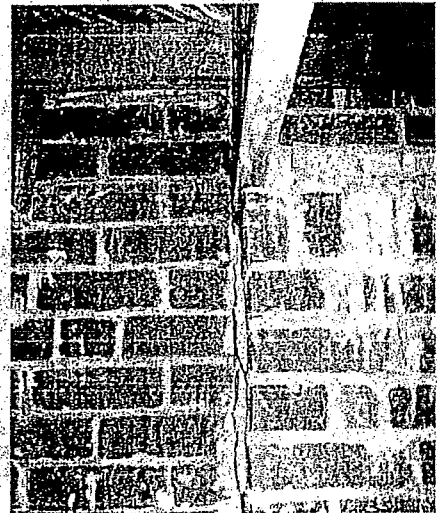


PHOTO P33 - P35



PHOTO P42

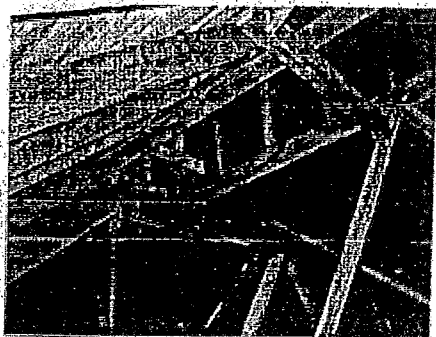


PHOTO P45

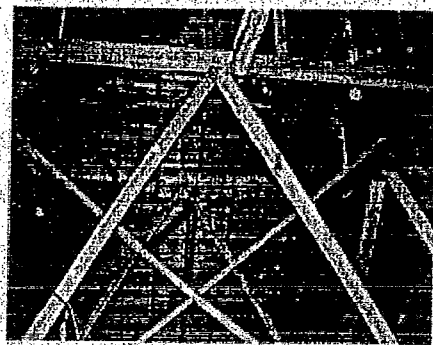


PHOTO P43

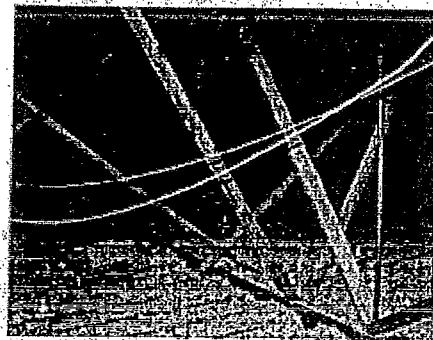


PHOTO P44

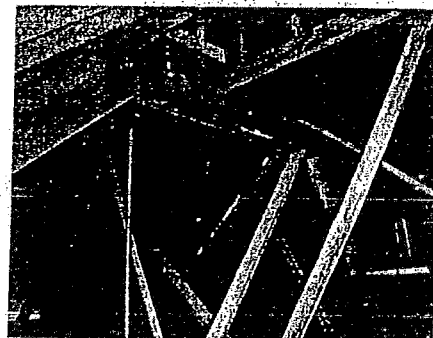
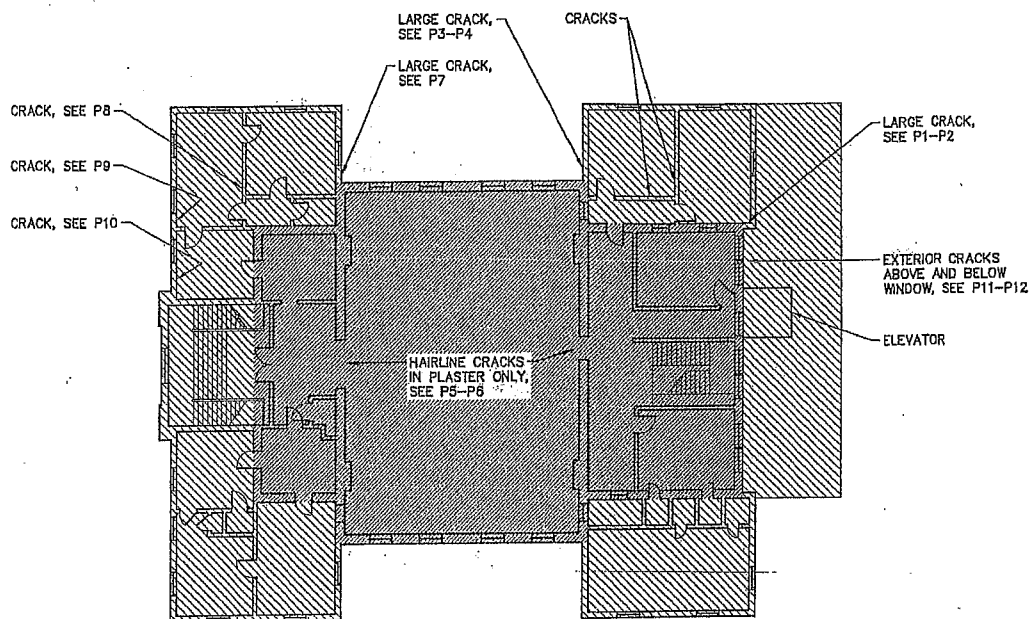




PHOTO P46



SECOND FLOOR PLAN: OBSERVED CRACKS

$\frac{1}{8}'' = 1'-0''$

-  PROBABLE LIMITS OF ORIGINAL 1895 COURTHOUSE, MOVED TO PRESENT LOCATION IN 1950
-  PROBABLE LIMITS OF 1980 ADDITION

4SE CONSULTING ENGINEERS

TRAILER 1000
BIRMINGHAM, AL 35203-1000

CHANGELINE
BIRMINGHAM, AL 35203-1000

BAMBERG COUNTY COURTHOUSE

SECOND FLOOR PLAN: OBSERVED CRACKS

PROJECT NO. BU
OWNER BY BU
DESIGN BY EP
CHECK BY BU
DATE 05-05-00
PROJECT NO. 05-002

S1

BAMBERG COUNTY COURTHOUSE
ASSESSMENT REPORT
Bamberg, South Carolina

ATTACHMENT B